



NOTICE OF DECISION

February 14, 2019

RE: DR06-66-C (DR19-01) SanTan Regional Mall Pylon Sign MSP AMENDED

Dear Applicant:

Staff has reviewed the revised drawings received for Administrative Design Review regarding The SanTan Regional Mall MSP. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Approval for the relocation of a new Freeway Pylon Sign, per existing MSP design standards.
2. This approval includes the removal of two parking spaces.
3. This approval requires the addition of a landscape planter surrounding the sign. Any landscape materials removed must be relocated in kind within close proximity during construction. The landscape removal and relocation must be depicted on the approved construction documents.
4. An Engineering Permit is required for the addition of the landscape planter and must be approved prior to sign permit approval.

If you have any questions regarding the above, please contact me at (480) 503-6625.

Sincerely,

A handwritten signature in black ink, appearing to read "S. B.", enclosed in a rectangular box.

Stephanie Bubenheim
Planner II

Attachments:

Approved stamped exhibits dated February 14, 2019

PDR-2019-00001 SanTan Regional Mall Pylon - 2nd Review

Admin Review

2218 E Williams Field Rd

Planner: Stephanie Bubenheim

Routed to Planning and Engineering only

APPROVED

Administrative Design Review

Case # DR06-66-C (DR19-01)

Date February 14, 2019

Engineering

Approved - No Comments

Dan Songer, Sr. Development Engineer
daniel.songer@gilbertaz.gov
480 503-6175

Planning

Stephanie Bubenheim (480)503-6625
stephanie.bubenheim@gilbertaz.gov

Approved with Markups.



January 3, 2019

Tanya Castro
Planning Services Division
Town of Gilbert
90 E. Civic Center Drive
Gilbert, Arizona 85296

APPROVED
Administrative Design Review
Case # DR06-66-C (DR19-01)
Date February 14, 2019

Re: SanTan Regional Mall MSP Amendment
Project Narrative

Dear Ms. Castro:

Per our prior correspondences, I am writing to request an amendment to the SanTan Regional Mall Master Sign Plan. This request is specifically and only being proffered to address the positioning of the previously-approved pylon sign to be installed on the SanTan Freeway frontage (see DR06-66B and DR17-1147).

As you know, this freeway pylon sign is to be a multi-tenant, double-faced display advertising businesses located within the SanTan Regional Mall at 2218 E. Williams Field Road. The sign is approved to be 66' in height with a total of 243.67 square feet of sign area.

Per sign permit number 2018-00175, this pylon sign was to be installed 122' from the back of the south curb and 234' back of the north curb identified on the site plans provided in 2018-00175. However, following the issuance of this permit, it became clear that the site that had been approved existed within a sewage easement. In order to avoid encroachment on said easement, a site 43' to the north of the previously approved site has been identified as ideal for the placement of this pylon. It is our request at this time that the positioning of this pylon be approved to show placement at 165' from the back of the south curb and 190' from the back of the north curb, as illustrated on the provided site plan. This location will provide the same level of freeway exposure as the previously-approved location, but will actually move the pylon further from the existing pylon at the far-south corner of the property.

480-449-3726 » Office

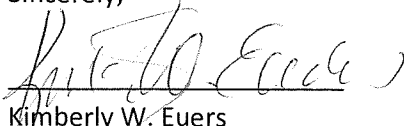
6725 W. Chicago St.
Chandler, Arizona 85226
AZ Contractor's License No. ROC260958
L-1, ROC260959 L-38, ROC260960 L-3

yesco.com

All other plans for this sign – design, paint, materials, manufacturing, landscaping, engineering and orientation, remain as previously approved: in all aspects, this proposal is in keeping with the ordinances of the Town of Gilbert. For your ease of reference, copies of the existing sign permit and the Administrative Design Review Notice of Decision are included in the exhibits.

Please consider approving the new location for this freeway pylon as per the provided site plan and prints. I will be happy to respond to any requests for clarification or additional information.

Sincerely,

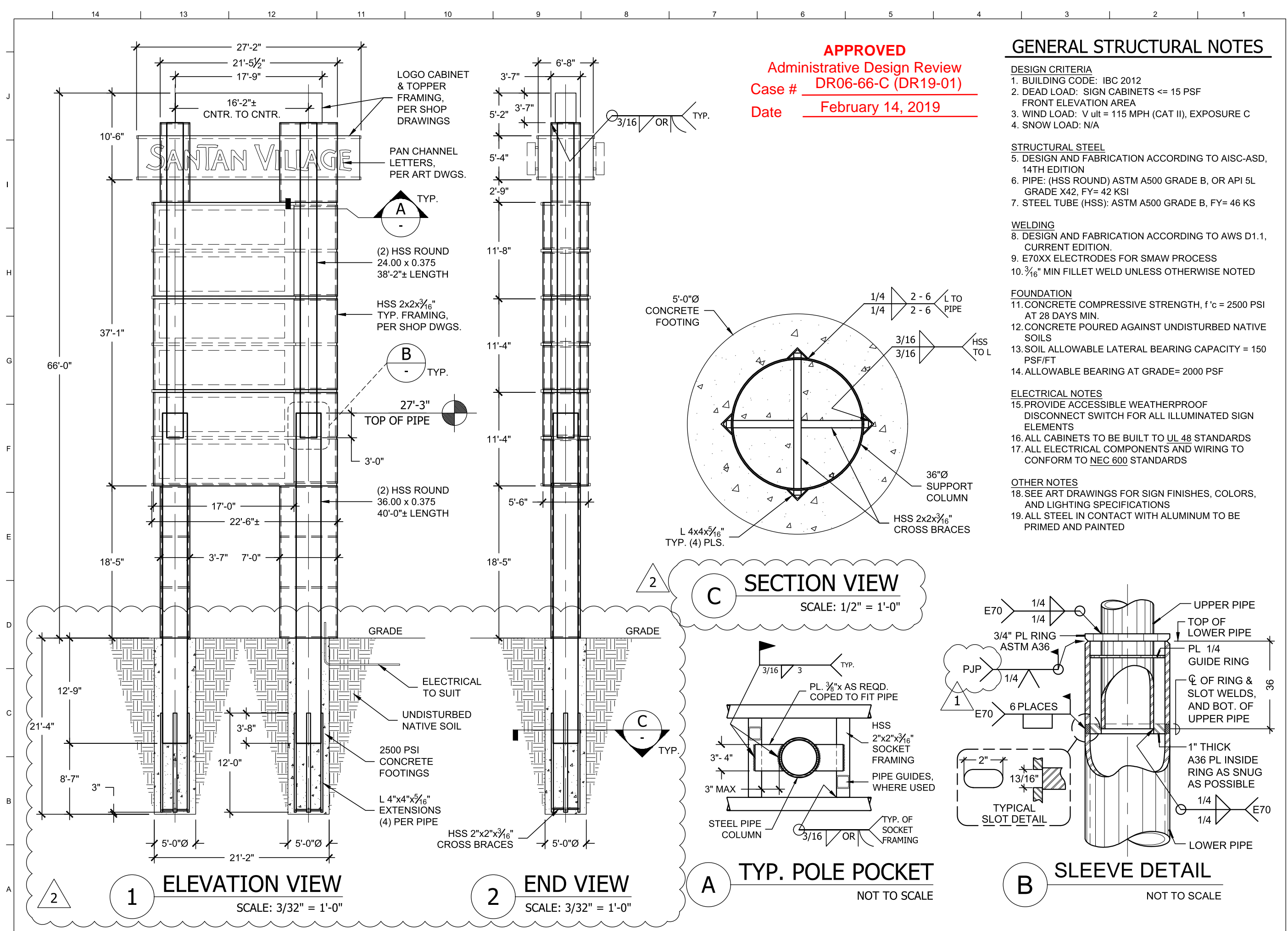
A handwritten signature in black ink, appearing to read "Kimberly W. Euers", written over a horizontal line.

Kimberly W. Euers

Government Relations Specialist

(480) 403-7707

keuers@yesco.com



APPROVED
Administrative Design Review
Case # **DR06-66-C (DR19-01)**
Date **February 14, 2019**

GENERAL STRUCTURAL NOTES

- DESIGN CRITERIA**
1. BUILDING CODE: IBC 2012
 2. DEAD LOAD: SIGN CABINETS <= 15 PSF
FRONT ELEVATION AREA
 3. WIND LOAD: V_{ult} = 115 MPH (CAT II), EXPOSURE C
 4. SNOW LOAD: N/A
- STRUCTURAL STEEL**
5. DESIGN AND FABRICATION ACCORDING TO AISC-ASD, 14TH EDITION
 6. PIPE: (HSS ROUND) ASTM A500 GRADE B, OR API 5L GRADE X42, FY= 42 KSI
 7. STEEL TUBE (HSS): ASTM A500 GRADE B, FY= 46 KS
- WELDING**
8. DESIGN AND FABRICATION ACCORDING TO AWS D1.1, CURRENT EDITION.
 9. E70XX ELECTRODES FOR SMAW PROCESS
 10. 3/16" MIN FILLET WELD UNLESS OTHERWISE NOTED
- FOUNDATION**
11. CONCRETE COMPRESSIVE STRENGTH, f'_c = 2500 PSI AT 28 DAYS MIN.
 12. CONCRETE POURED AGAINST UNDISTURBED NATIVE SOILS
 13. SOIL ALLOWABLE LATERAL BEARING CAPACITY = 150 PSF/FT
 14. ALLOWABLE BEARING AT GRADE= 2000 PSF
- ELECTRICAL NOTES**
15. PROVIDE ACCESSIBLE WEATHERPROOF DISCONNECT SWITCH FOR ALL ILLUMINATED SIGN ELEMENTS
 16. ALL CABINETS TO BE BUILT TO UL 48 STANDARDS
 17. ALL ELECTRICAL COMPONENTS AND WIRING TO CONFORM TO NEC 600 STANDARDS
- OTHER NOTES**
18. SEE ART DRAWINGS FOR SIGN FINISHES, COLORS, AND LIGHTING SPECIFICATIONS
 19. ALL STEEL IN CONTACT WITH ALUMINUM TO BE PRIMED AND PAINTED



ENGINEERING

1605 South Gramercy Rd.
Salt Lake City, UT 84104
(801) 487-8481

www.yesco.com

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Revisions

No.	Date
Orig.	7-9-18
1	8-15-18 EDITED WELD TAIL NOTE
2	11-29-18 CHANGED TO CAISSON FTGS.



Drawn by: BARNEY WILLIAMS
Checked by: BEN JONES

SANTAN VILLAGE

2218 WILLIAMS FIELD ROAD
GILBERT, AZ

Engineer: BEN JONES
Account Exec: KEITH ROBERTS
Designer: JIM WEADOCK

Date: 11-29-18

Project No.

OPY-12459

S-1

PAINT & FINISHES

All paints and finishes shall match the color, finish, and texture as noted.

P-1

ICI 1250
Restless Sea

P-2

ICI 1396
Heritage Home

P-3

ICI 1556
Beyond Blue

P-4

Ben Moore
2117-40
Tropical Dust

P-5

ICI 1652
Velvet Night

P-6

ICI 2
Grape Hyacinth

P-7

ICI 1486
Signature Blue

P-8

ICI XXX
to match C-1

P-9

ICI XXX
to match C-2

P-10

ICI 5
Grape Arbor

P-11

ICI 1403
Rococo Blue

Stippled Metal texture

P-8

ICI XXX
to match C-1

P-9

ICI XXX
to match C-2

P-12

ICI XXX
XXXX

P-13

ICI XXX
XXXX

P-14

MP 18100
Silver Star

P-15

MP 18154

P-XX

ICI XXX
XXXXXXXX

P-17

ICI 508
Cavalry Brown

P-18

ICI XXX
XXXXXXXX

P-19

ICI XXX
XXXXXXXX

P-20

ICI XXX
XXXXXXXX

P-20

ICI 1596
Boysenberry

P-21

ICI 1582
Violet Iris

P-22

ICI 1495
Blue Angels

P-23

ICI 1501
Periwinkle Blue

P-24

ICI 1651
Ironweed

P-25

ICI 1654
Kashmir

P-26

ICI 1181
Moorish Green

P-27

ICI 1210
Belle Glade

APPROVED
Administrative Design Review
Case # DR06-66-C (DR19-01)
Date February 14, 2019

NOTE: ALL COLORS TO BE SATIN FINISH UNLESS OTHERWISE NOTED

APPROVED
Administrative Design Review
Case # DR06-66B
Date January 4, 2018

VINYL COLORS

All vinyl sheeting shall match exactly the color, finish, and durability of the manufacturers product as noted.

V-1

3M 2290
Reflective
White

V-2

3M 7725-20
Matte
White

Concrete Colors

All paints and finishes shall match exactly the color, finish, and texture as noted.

C-1

Superlite Block
Terra Brown

C-2

Davis Concrete
Integral Color
San Diego Buff

C-3

Davis Concrete
Integral Color
San Diego Buff

ACRYLIC

A-1

Mitsubishi
Clear - Non-Glare

A-2

Acrylite P-95
White Acrylic

A-3

Acrylite 424-3
Yellow Acrylic

Acrylite 0917-8
EE Crystal Ion

CUSTOMER APPROVAL

SIGNATURE: _____
CONTACT NAME (Print): _____
COMPANY NAME (Print): _____
TITLE (Print): _____
ADDRESS: _____
CITY: _____ STATE: _____
PHONE: _____ DATE: ____ / ____ / ____
☐ APPROVED WITHOUT EXCEPTION.
☐ APPROVED AS NOTED (Initial all Changes).

Phoenix Division
6725 West Chicago Street
Chandler, AZ 85226
480.449.3726
www.yesco.com

This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of YESCO. Permission to copy or revise this drawing can only be obtained through a written agreement with YESCO.

Client:
SanTan Village

Address:
2218 E. Williams Field Rd.
Gilbert, Arizona

Account Executive:
Keith Roberts

Permit Designer:
Mike Keen

Original Designer:
Jim Weadock

Date:
05.31.2018

OPY #
12459

Permit Revisions:

1	07.11.18	MK
2	07.25.18	MK
3		
4	12.03.18	MK
5		
6		
7	01.31.19	MK

Customer Approval
X _____
Client Signature | Date

Landlord Signature | Date

Reference #

PERMIT
AZ Contractor Licenses:
Signs #ROC260959
Awnings #ROC260960
Electrical #ROC260958

Page 3 of 6

ADDED SF FOR PERMITTING

MOVED "B" 40' EAST.

REMOVED DIRECTORY. ADDED NEW ENGINEERING. MOVED Pylon 43' NORTH.

MOVED Pylon.



APPROVED
Administrative Design Review
Case # DR06-66-C (DR19-01)
Date February 14, 2019

NORTH

**AERIAL SITE PLAN
SIGN LOCATIONS**

YESCO

Phoenix Division
6725 West Chicago Street
Chandler, AZ 85226
480.449.3726
www.yesco.com

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4	12.03.18	MK
5		
6		
7	01.31.19	MK

Customer Approval

X

Client Signature | Date

X

Landlord Signature | Date

X

Reference #

PERMIT
AZ Contractor Licenses:
Signs #ROC260959
Awnings #ROC260960
Electrical #ROC260958

Page 4 of 6

▲ ADDED SF FOR PERMITTING ▲ MOVED "B" 40' EAST. ▲ REMOVED DIRECTORY. ADDED NEW ENGINEERING. MOVED PYLON 43' NORTH. ▲ MOVED PYLON.



AERIAL SITE PLAN SIGN LOCATIONS

190' BOC

A **DISPLAY GOES HERE**

SEE NEXT PAGE FOR ENLARGED INSTALL PIC

**CURBING TO BE RE-ROUTED AROUND SIGN.
LANDSCAPING TO MATCH EXISTING**

NOT TO SCALE

1 ADDED SF FOR PERMITTING 2 MOVED "B" 40' EAST. 3 REMOVED DIRECTORY. ADDED NEW ENGINEERING. MOVED PYLON 43' NORTH. 4 MOVED PYLON. 5

Landscape island is required. A separate engineering permit will be required for the parking stall/landscape island modification.



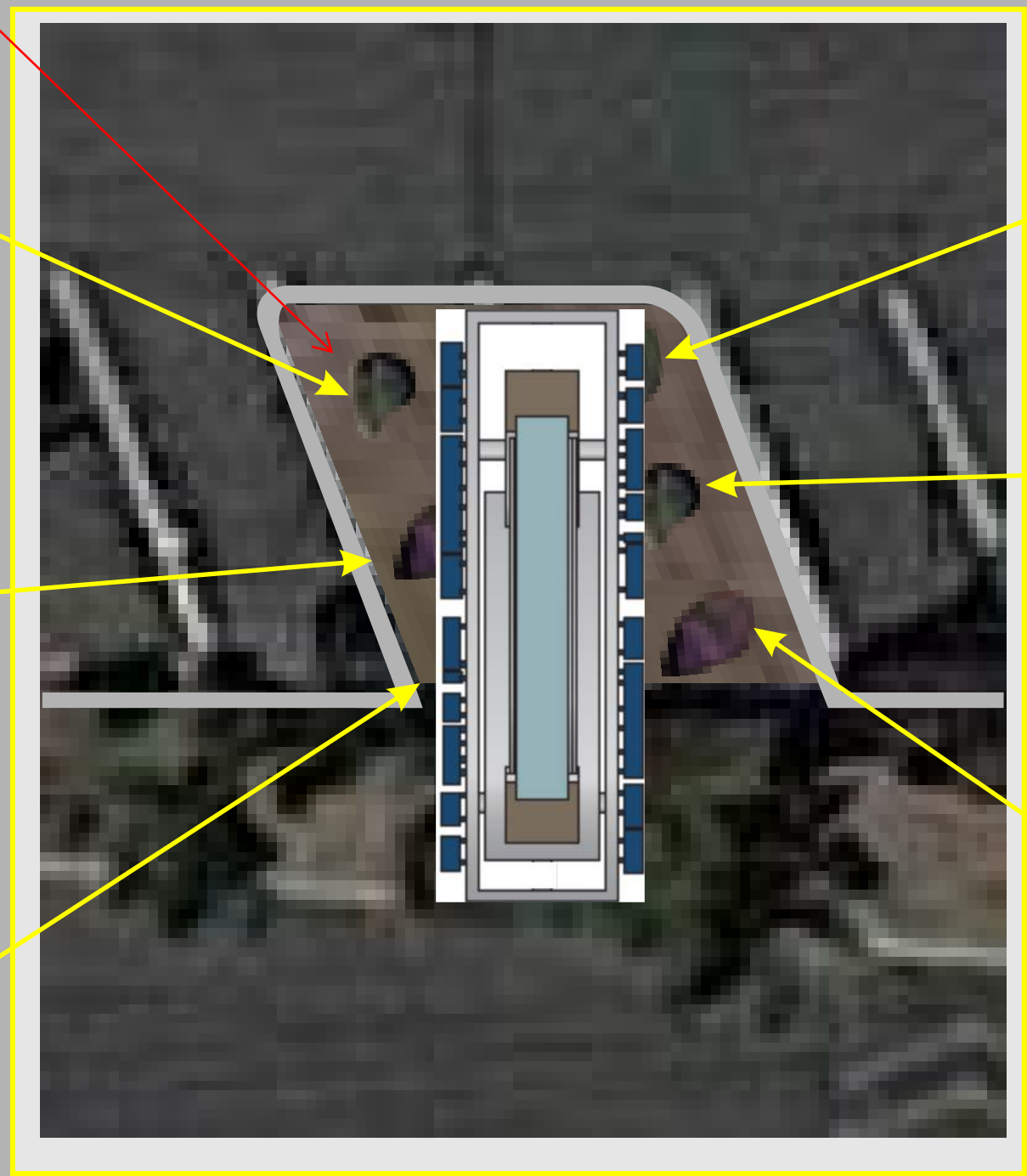
Rosemary



Red Yucca Plant



Rosemary



Red Yucca Plant



Rosemary



Red Yucca Plant

New Landscape per Gilbert Sign Code

Phoenix Division
 6725 West Chicago Street
 Chandler, AZ 85226
 480.449.3726
 www.yesco.com

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 SanTan Village

Address:
 2218 E. Williams Field Rd.
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Account Executive:
 Keith Roberts

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Date:
 05.31.2018

OPY #
12459

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1	07.11.18	MK
2	07.25.18	MK
3		
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5		
6		
7	01.31.19	MK

Customer Approval

Client Signature | Date

Landlord Signature | Date

Reference #

PERMIT

AZ Contractor Licenses:
 Signs #ROC260959
 Awnings #ROC260960
 Electrical #ROC260958

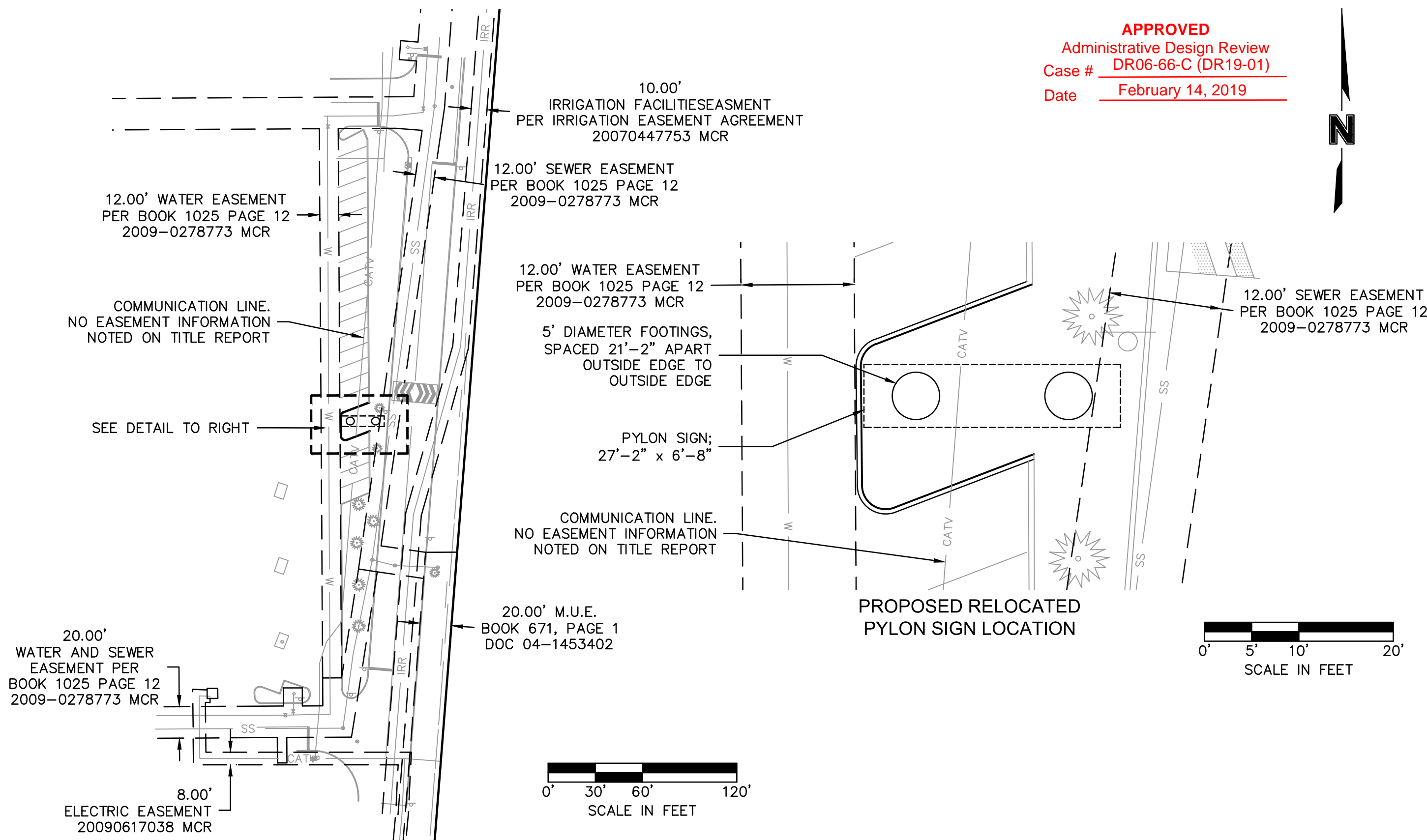
Page 6 of 6

▲ ADDED SF FOR PERMITTING

▲ MOVED "B" 40' EAST.

▲ REMOVED DIRECTORY. ADDED NEW ENGINEERING. MOVED PYLON 43' NORTH. ▲ MOVED PYLON.

DWG: F:\2016\2501-3000\016-2730\40-Design\AutoCAD\Pylon Location\40-Design\AutoCAD\Pylon Location\40-Design\AutoCAD\Pylon Location.dwg
DATE: Nov 20, 2018 1:16pm
USER: mdrster
XREFS: PBASE2_PYLON_62730
XBASE2_PYLON_62730



APPROVED
Administrative Design Review
Case # DR06-66-C (DR19-01)
Date February 14, 2019



PROJECT NO: 016-2730

DRAWN BY: MD

DATE: 11/19/18

PROPOSED PYLON LOCATION - REVISED LOCATION

olsson

7250 North 16th Street
Suite 210
Phoenix, AZ 85020-5282
TEL 602.748.1000
FAX 602.748.1001

EXHIBIT

2



NOTICE OF DECISION

January 4, 2018

RE: DR06-66B (DR17-1147) SanTan Regional Mall MSP

Dear Applicant:

Staff has reviewed the revised drawings received for Administrative Design Review regarding The SanTan Regional Mall MSP. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Approval of a new Freeway Pylon Sign, per existing MSP design standards.
2. Approval of two new Directory Signs, per existing MSP design standards.

If you have any questions regarding the above, please contact me at (480) 503-6729.

Sincerely,

Amy Temes
Senior Planner

A handwritten signature in dark ink, appearing to be "A. Temes", written over a light blue horizontal line.

Attachments:

Approved stamped exhibits date 1/4/2018

EXISTING LOCATION PLAN



commarts
Communication Arts, Incorporated
1112 Pearl Street Boulder, CO 80302
TEL 303.447.8202 FAX 303.440.7096
www.commarts-boulder.com

Design Intent
100% Design Intent Set

SANTAN VILLAGE

SanTan Village
PROJECT
Westcor
OWNER
2450
TEAM JOB NO

GENERAL NOTES:
• Submittals required as per the Quantities & Submittals section of this document
• These drawings express visual design intent only. Final engineering, materials, and fabrication shall remain the responsibility of the fabricator.
• All scaled of this document is subject to the design intent requirements outlined elsewhere in the document. Refer to the Fabricator Performance & Material Requirements, Quantities & Submittals, Materials & Finishes, and Fonts & Symbols sections of this document for further details.

ORIGINAL ISSUE	22 June, 2006
REVISIONS	
30 Sept, 2006 - DAB	

Exterior
Location Plan
Diagram

SmithCraft
CUSTOM ARCHITECTURAL SIGNAGE

3643 South 7th Street
Phoenix, AZ 85040.1130
602.268.1349 Office
602.268.1369 Facsimile

Fabrication information shown here is the exclusive property of F & N Enterprises dba SmithCraft and may not be used for fabrication by any other company without authorization from an officer of F & N.

REP: S. Spradlin
BY: D. Rollins
DATE: 6/1/17
REV: 12/19/17

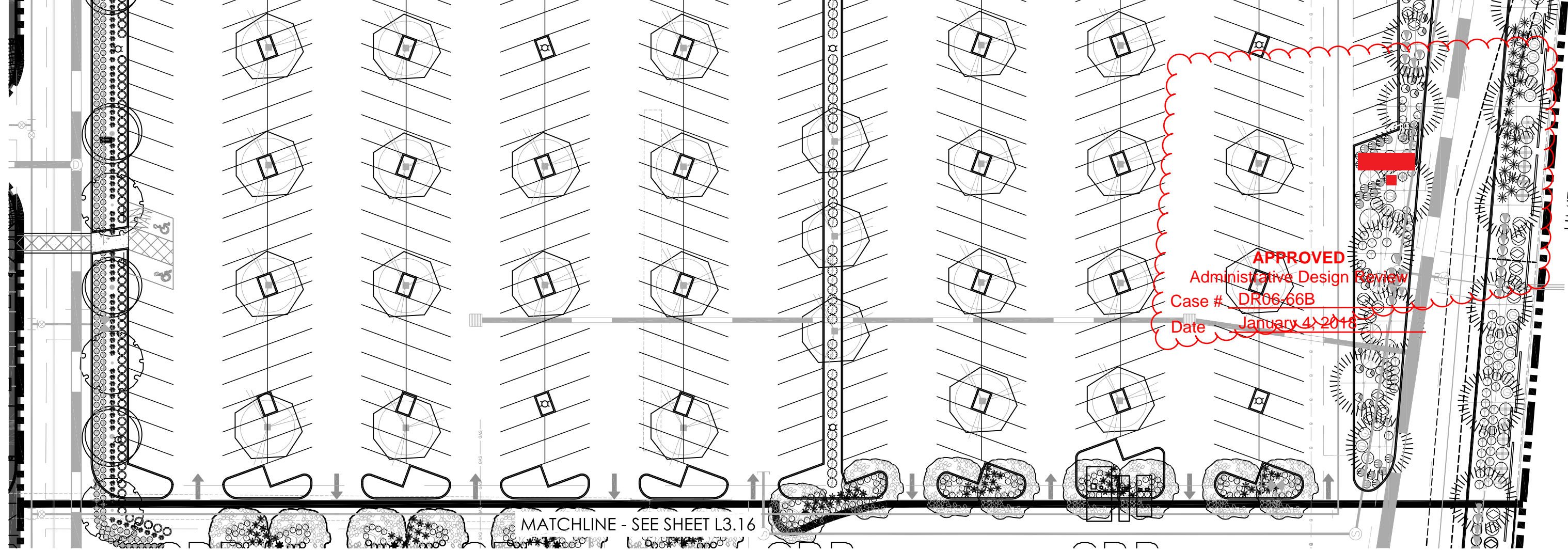
SPEC NO.
XX00000
JOB NO.
17-052206

SanTan Village
Existing SLP
Install Address: 202 & Williams Field, Gilbert, AZ

SIGN TYPE
SLP

SHEET
4.0













LIMIT OF WORK - SEE





































LIMIT OF WORK -PHASE 2














APPROVED
Administrative Design Review
Case # DR06-66B
Date January 4, 2018

MATCHLINE - SEE SHEET L3.16

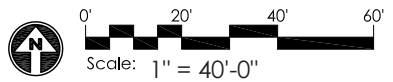
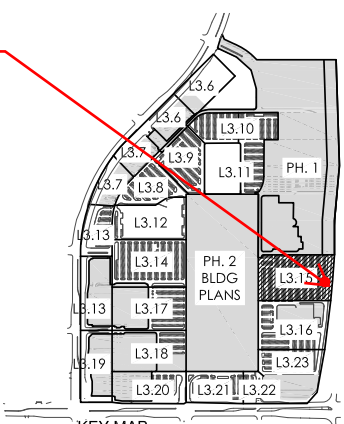
Plant Name			
Trees	Size	Qty	Remarks
	<i>Acacia aneura</i> Mulga Acacia	15 Gal.	143
	<i>Acacia smallii</i> Sweet Acacia	15 Gal.	68
	<i>Cercidium floridum</i> Blue Palo Verde	24" Box	69
	<i>Cercidium floridum</i> 'Desert Museum' Desert Museum Palo Verde	24" Box	145
	<i>Chitalpa tashkentensis</i> Chitalpa	48" Box	30
	<i>Fraxinus velutina</i> 'Rio-Grande' Fan-Tex Ash	24" Box	28
	<i>Olea europaea</i> Swan Hill Olive	48" Box	2
	<i>Pinus eldarica</i> Mondel Pine	24" Box	53
	<i>Prosopis velutina</i> Velvet Mesquite	24" Box	64
	<i>Quercus virginiana</i> Southern Live Oak	24" box	78
	<i>Ulmus parvifolia</i> Alee Elm	24" Box	222
Extra Large Shrubs			
	<i>Dodonaea viscosa</i> 'Purpurea' Purple Hop Bush	5 gal.	22

Plant Name				
Large Shrubs		Size	Qty	Remarks
	<i>Caesalpinia mexicana</i> Mexican Bird of Paradise	5 gal.	36	▲
	<i>Cassia artemisoides</i> Cassia	5 gal.	31	
	<i>Cassia nemophila</i> Desert Cassia	5 gal.	38	
	<i>Cordia parvifolia</i> Little Leaf Cordia	5 gal.	98	
	<i>Leucophyllum frutescens</i> Texas Sage	5 gal.	109	
	<i>Leucophyllum frutescens</i> 'White Cloud' White Cloud Sage	5 gal.	68	
	<i>Simmondsia chinensis</i> Jojoba	5 gal.	24	
Medium Shrubs				
	<i>Calliandra californica</i> Red Fairy Duster	5 gal.	171	▲
	<i>Elaeagnus frutlandii</i> Silverberry	15 gal.	145	
	<i>Leucophyllum frutescens compacta</i> Compact Green Cloud Sage	5 Gal.	102	
	<i>Leucophyllum frutescens</i> 'Green Cloud' Green Cloud Sage	5 gal.	76	
	<i>Leucophyllum hybrid</i> 'Rain Cloud' Rain Cloud Sage	5 gal.	39	
	<i>Leucophyllum pruinosum</i> Sierra Bouquet TM	5 gal.	181	▲
	<i>Leucophyllum zygophyllum</i> Blue Ranger	5 gal.	7	
	<i>Myrtus communis</i> 'Compacta' Compact Myrtle	5 gal.	286	
	<i>Nolina nelsoni</i> Blue Nolina	5 gal.	250	
	<i>Ruellia peninsularis</i> Desert Ruella	5 gal.	16	▲

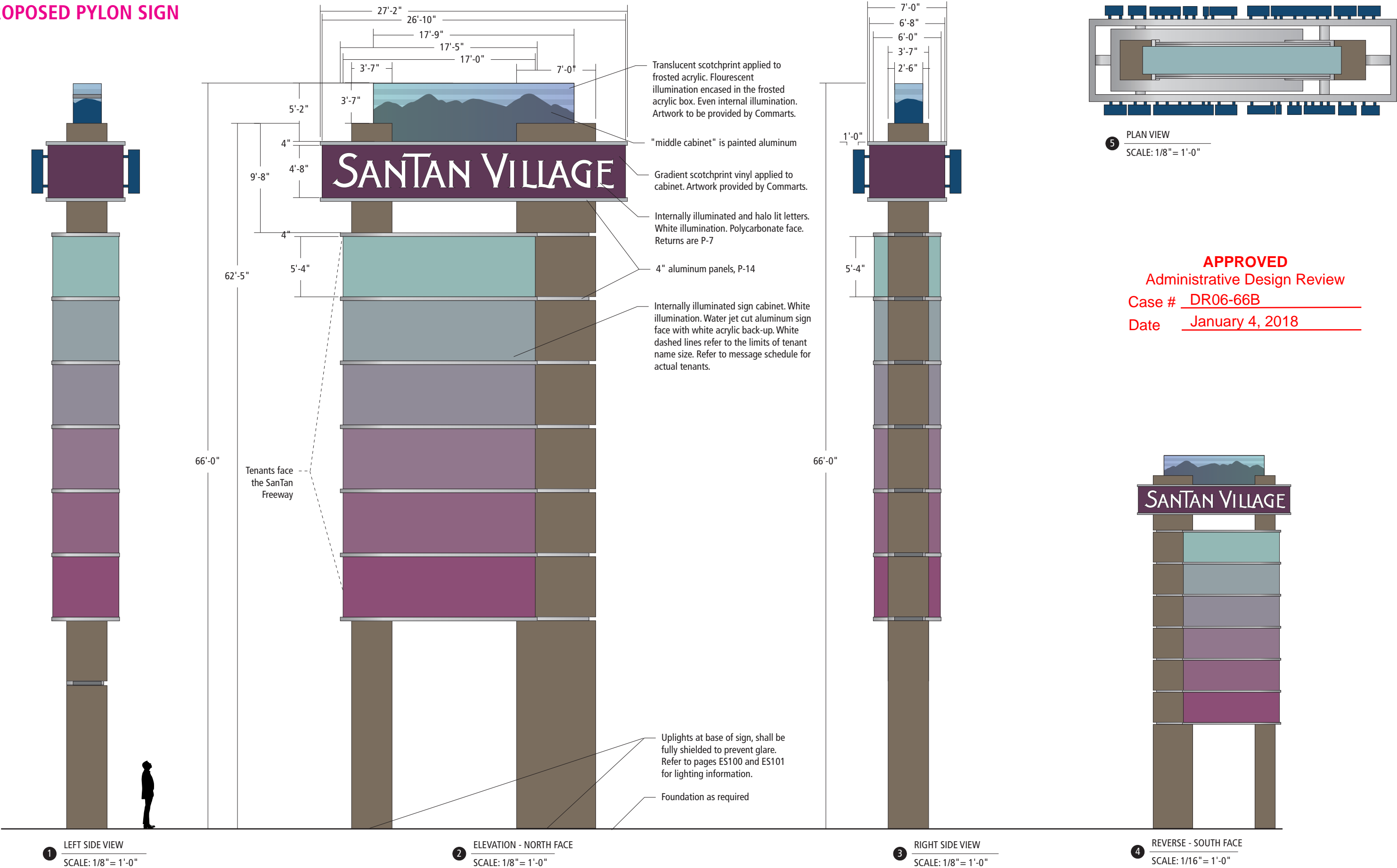
Plant Name		Size	Qty	Remarks
	<i>Ruellia brittoniana</i> 'Katie' Dwarf Ruellia	5 gal.	644	
	<i>Simmondsia chinensis</i> Jojoba	5 gal.	24	
	<i>Vauquelinia californica</i> California Rosewood	5 gal.	110	
Small Shrubs/Accents				
	<i>Convolvulus cneorum</i> Bush Morning Glory	1 gal.	864	
	<i>Dalea capitata</i> 'Sierra Gold' Sierra Gold Dalea	1 gal.	1124	
Groundcovers				
	<i>Acacia redolens</i> 'Low Boy' Red Acacia	5 gal.	60	
	<i>Chrysactinia mexicana</i> Damianita	5 gal.	150	
	<i>Gaura lindheimeri</i> Pink Gaura	5 gal.	298	
	<i>Lantana montevidensis</i> Trailing Lantana	1 gal.	1194	
	<i>Lantana hybrid</i> 'Yellow' Yellow Trailing Lantana	1 gal.	75	
	<i>Lantana hybrid</i> 'White' 'White' Lantana	1 gal.	1552	
	<i>Oenothera berlandieri</i> Mexican Evening Primrose	1 gal.	169	
	<i>Rosmarinus officinalis</i> Prostrate Rosemary	1 gal.	69	
	<i>Verbena gooddingii</i> Goodding Verbena	1 gal.	167	
	<i>Verbena rigida</i> Sandpaper Verbena	5 gal.	133	
	<i>Wedelia trilobata</i> Yellow Dot	1 gal.	10	
Accents				
	<i>Bulbine frutescens</i> 'Orange' Orange Bulbine	5 gal.	340	

Plant Name			
	Size	Qty	Remarks
 <i>Dasyllirion acotriche</i> Green Desert Spoon	5 gal.	547	
 <i>Dasyllirion wheeleri</i> Desert Spoon	5 gal.	70	
 <i>Hesperaloe funifera</i> Giant Hesperaloe	5 gal.	44	
 <i>Hesperaloe parviflora</i> Red Hesperaloe	5 gal.	396	
 <i>Hesperaloe parviflora-yellow</i> Yellow Hesperaloe	5 gal.	125	
 <i>Muhlenbergia capillaris</i> Regal Mist TM	5 gal.	332	
 <i>Muhlenbergia lindheimeri</i> 'Autumn Glow' Autumn Glow Muhly	1 gal.	409	
Cacti/Accents			
 <i>Agave americana</i> Century Plant	5 gal.	80	
 <i>Agave desmettiana</i> Agave	5 gal.	544	
 <i>Agave gemoniflora</i> Twin-flowered Agave	5 gal.	39	
 <i>Agave ocahui</i> Ocahui Agave	5 gal.	311	
 <i>Agave parryi</i> var. <i>parryi</i> Parry's Agave	5 gal.	8	
 <i>Agave vilmorintiana</i> Octopus Agave	5 gal.	59	
NOTE: 1. ENSURE THERE ARE NO PROJECTIONS, LOW BRANCHES, ETC., WITHIN ANY ACCESSIBLE ROUTE. SEE ADAAG 4.4 FOR SPECIES @ 80" MIN. HEADROOM.			

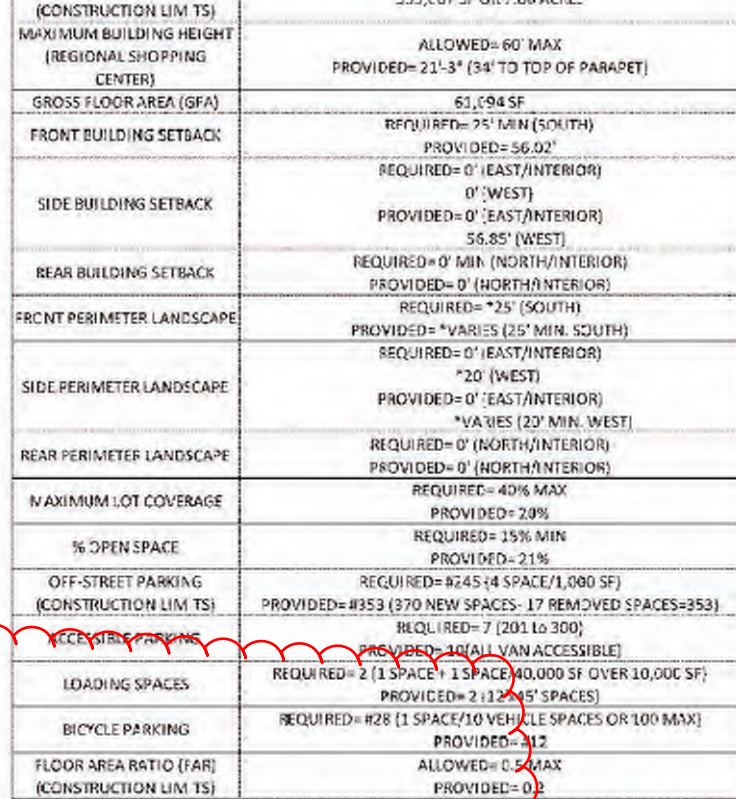
Site



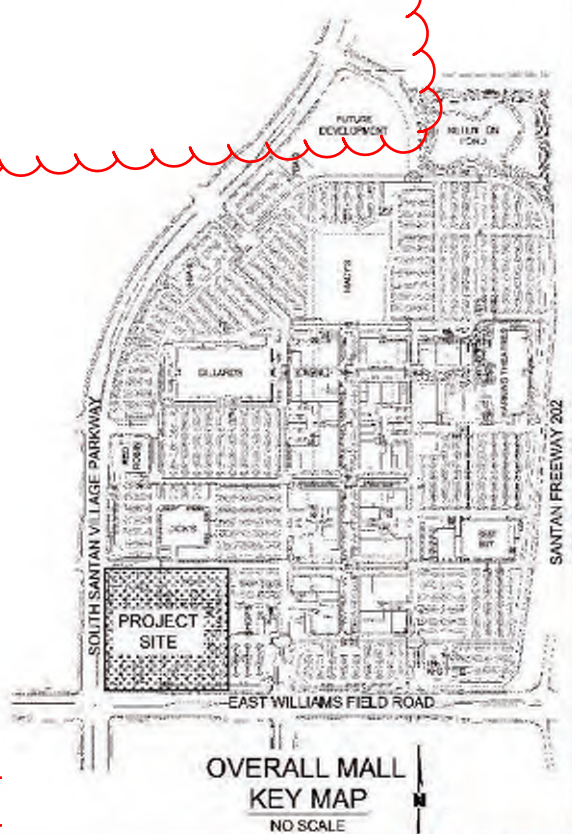
PROPOSED PYLON SIGN

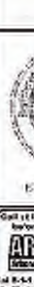


APPROVED
Administrative Design Review
Case # DR06-66B
Date January 4, 2018



APPROVED
Administrative Design Review
DR06-66B
January 4, 2018



<div style="display: flex; justify-content: space-between;"> <div> <p>designed by: _____</p> <p>checked by: _____</p> <p>project no: _____</p> <p>date: _____</p> </div> <div> <p>TITLE: _____</p> <p>S.F.: _____</p> <p>CUB: _____</p> <p>DATE: 2/23/17</p> <p>5.12.2017</p> </div> </div>		<div style="display: flex; justify-content: space-between;"> <div> <p>C101</p> <p>6 of 44</p> </div> <div> <p>2017</p> </div> </div>	
<p>IMPROVEMENT PLAN</p> <p>SITE PLAN</p> <p>SANTAN VILLAGE HARD CORNER 2058 E WILLIAMS FIELD RD</p> <p>GILBERT, ARIZONA 85295</p>		<p>REV. NO.</p> <p>DATE</p> <p>REVISIONS</p>	
<p>ARIZONA 311 Let's Get It Done Right</p> <p>Call 8-64 or 1-800-572-6717 (MOBILE) or Visit Our Website: 311AZ.COM</p>		<p>EXP. 06-30-20</p>	
<p>OLSSON ASSOCIATES</p> <p>7290 North 16th Street, Suite 210 Phoenix, AZ 85020-5382</p> <p>TEL: 602.748.1000 FAX: 602.748.1001 www.olsa.com</p>			

PROPOSED TWO (2) ADDITIONAL DIRECTORY SIGNS
TO MATCH EXISTING ON SITE

First Surface Digital Print Design.
Artwork To Be Provided By COMMARTS
Attn: Jeff Dudero - 303.447.8202
1112 Pearl Street Boulder, Colorado 80302

LED's - 4 amps
Small Light Box - 4.48 amps
Large Light Box - 6.16 amps
Total Amps - 15
Need two (2) 20 amp circuits

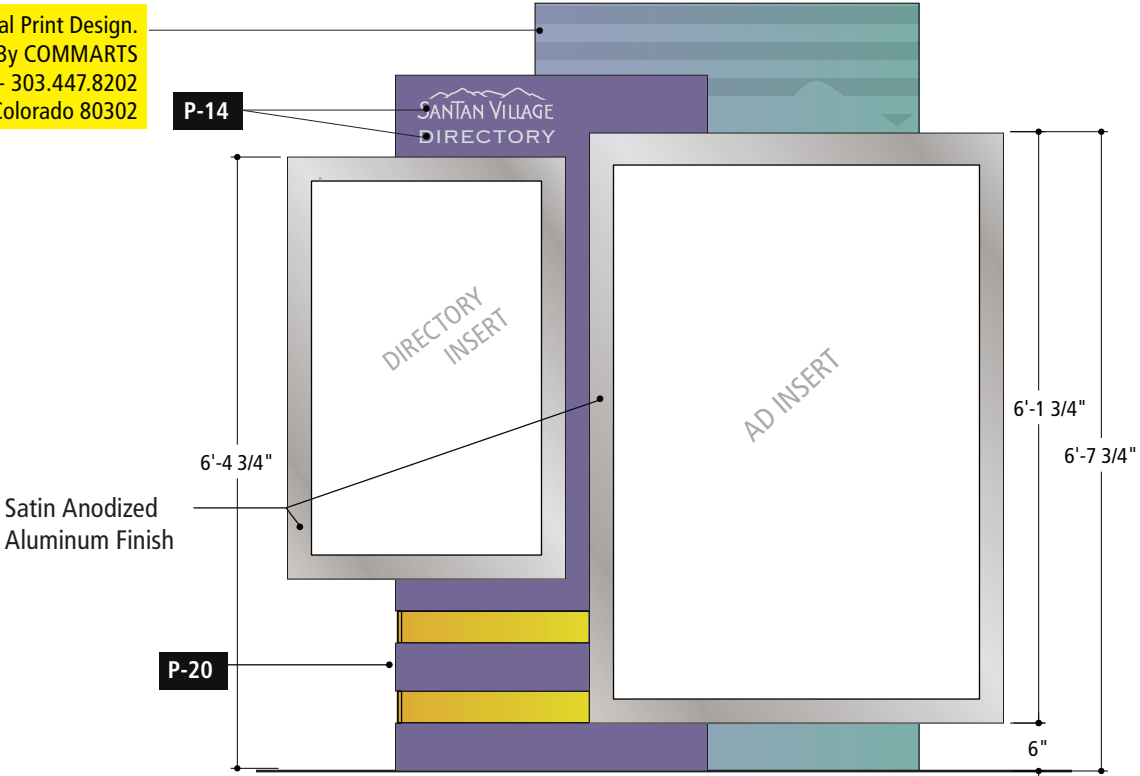
Fabricated Aluminum Cabinet.
Finish All Edges Smooth.
Painted Surface / Digital Print
and shown on Color Elevation.

1/4" Thick Aluminum FCO
Pin Mount To Face w/
concealed fastener.

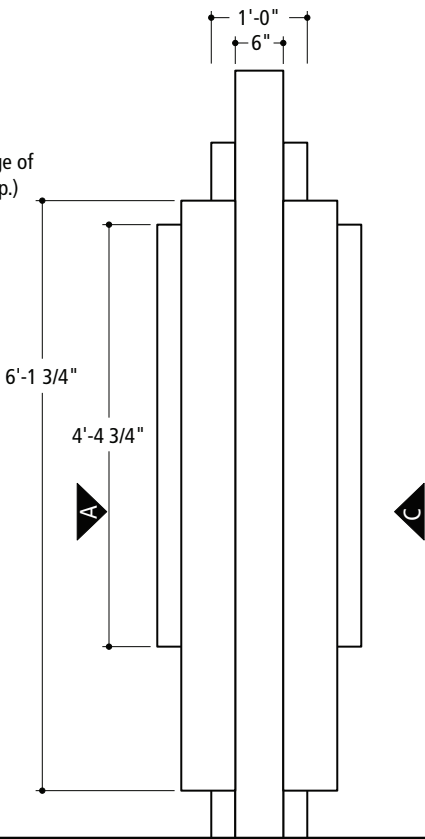
Internally Illuminated Advertisement
Panel And Directory Panel.
Even Illumination / No Light Leaks.
Top Interior Surface Is Painted
Opaque White. Cover To Be 1/4" Lexan.

Ad Panel Case To Fit
Final Print Size Of 47" X 69"
Directory Panel Case To Fit
Final Print Size Of 30" X 48"

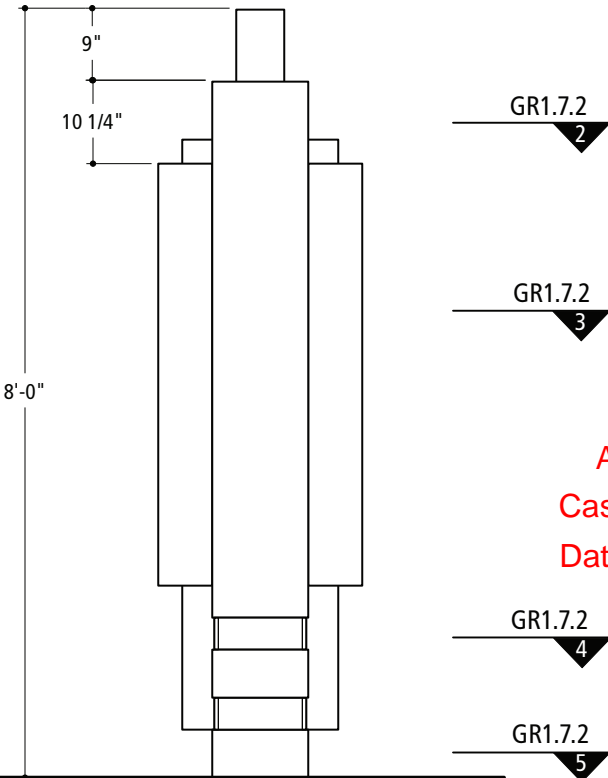
Internally Illuminated using yellow or
white LED's w/ A-3 Yellow Acrylic faces.
1/2" angle corner painted to match A-3.
Even Illumination / No Light Leaks.



4 Color Elevation - QNTY = 2 D/F
Scale: 1/2" = 1'-0"



2 Side Elevation - Side B
Scale: 1/2" = 1'-0"



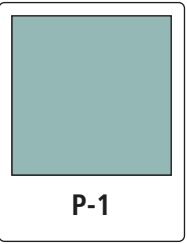
3 Side Elevation - Side D
Scale: 1/2" = 1'-0"

1 Front Elevation - Side A - QNTY = 8 D/F
Scale: 1/2" = 1'-0"

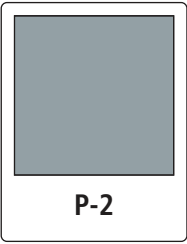
APPROVED
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PAINT & FINISHES

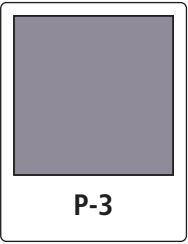
All paints and finishes shall match the color, finish, and texture as noted.



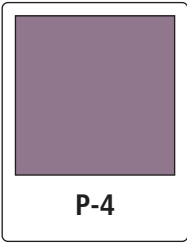
ICI 1250
Restless Sea



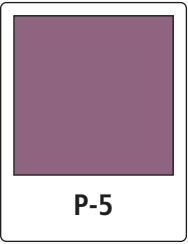
ICI 1396
Heritage Home



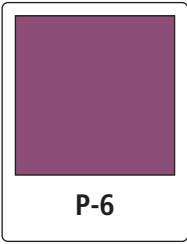
ICI 1556
Beyond Blue



Ben Moore
2117-40
Tropical Dust



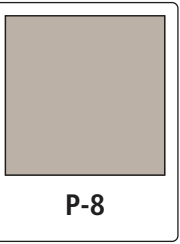
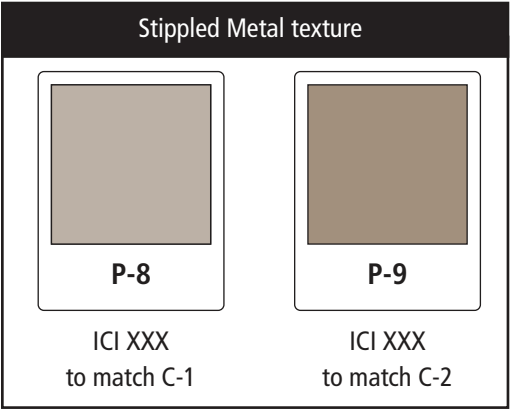
ICI 1652
Velvet Night



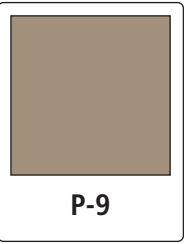
ICI 2
Grape Hyacinth



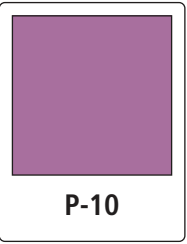
ICI 1486
Signature Blue



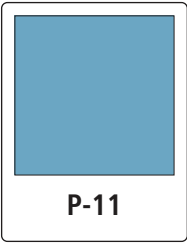
ICI XXX
to match C-1



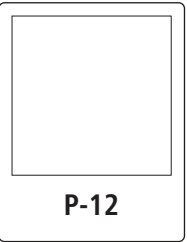
ICI XXX
to match C-2



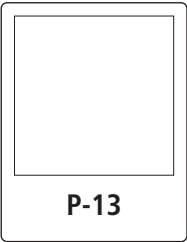
ICI 5
Grape Arbor



ICI 1403
Rococo Blue



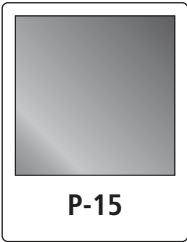
ICI XXX
XXXX



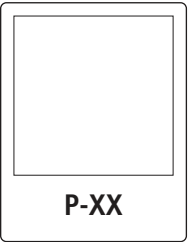
ICI XXX
XXXX



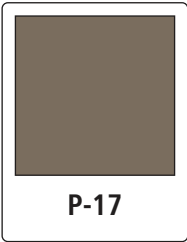
MP 18100
Silver Star



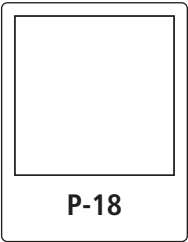
MP 18154



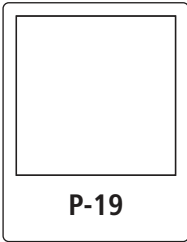
ICI XXX
XXXXXXX



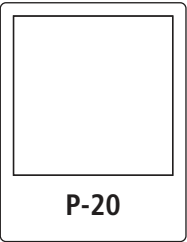
ICI 508
Cavalry Brown



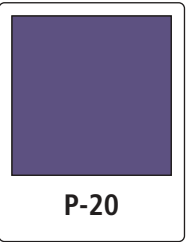
ICI XXX
XXXXXXX



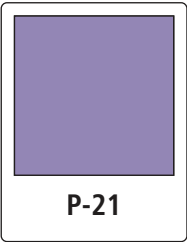
ICI XXX
XXXXXXX



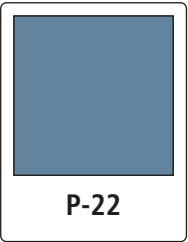
ICI XXX
XXXXXXX



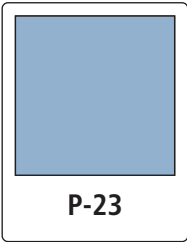
ICI 1596
Boysenberry



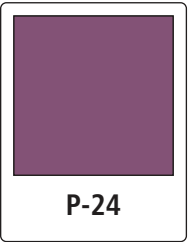
ICI 1582
Violet Iris



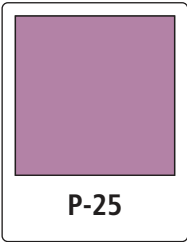
ICI 1495
Blue Angels



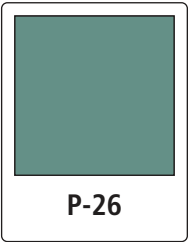
ICI 1501
Periwinkle Blue



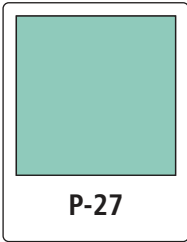
ICI 1651
Ironweed



ICI 1654
Kashmir



ICI 1181
Moorish Green



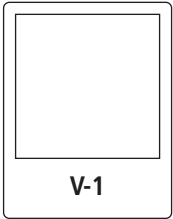
ICI 1210
Belle Glade

NOTE: ALL COLORS TO BE SATIN FINISH UNLESS OTHERWISE NOTED

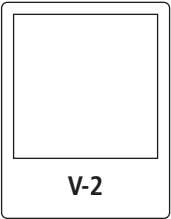
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VINYL COLORS

All vinyl sheeting shall match exactly the color, finish, and durability of the manufacturers product as noted.



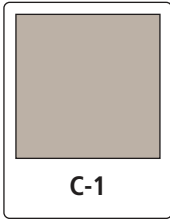
3M 2290
Reflective
White



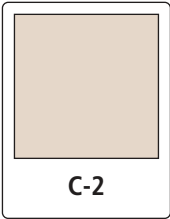
3M 7725-20
Matte
White

Concrete Colors

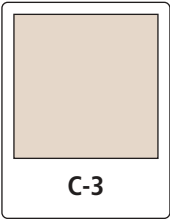
All paints and finishes shall match exactly the color, finish, and texture as noted.



Superlite Block
Tierra Brown

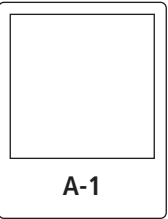


Davis Concrete
Integral Color
San Diego Buff

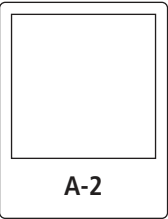


Davis Concrete
Integral Color
San Diego Buff

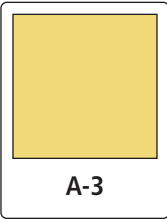
ACRYLIC



Mitsubishi
Clear - Non-Glare



Acrylite P-95
White Acrylic



Acrylite 424-3
Yellow Acrylic

Acrylite 0917-8
FF Crystal Ice



NOTICE OF DECISION

Oct. 9, 2013

YESCO LLC.
Jeremy Galloway
6725 W Chicago St.
Chandler, AZ
85226

Re: PAL13-54, (DR06-66-A) Minor Modification to Directional Signage for Santan Village, NEC Williams Field Rd. and Santan Village Pkwy., Minor Administrative DR Approval in Regional Commercial (RC) PAD Dist.

Dear Mr. Galloway,

This is to acknowledge receipt of your application for Minor Administrative Design Review approval for Minor Modification to Directional Signage for Santan Village, NEC Williams Field Rd. and Santan Village Pkwy, on Sept. 11, 2013. The request is to modify the existing Master Signs Plan (MSP) to add up to four (4) new Directional Signs, Sign Type 1.6 Sheet, to match the style of the five (5) existing signs on the site. The site is zoned Regional Commercial (RC) PAD Dist. and the original signs plan approval for this site is;

DR06-66: MASTER SIGN PLAN / ENTRY MONUMENTATION SANTAN VILLAGE REGIONAL SHOPPING CENTER NORTH OF NORTHWEST CORNER OF WILLIAMS FIELD ROAD AND SANTAN FREEWAY (SR 202)

The site and exterior building modifications being proposed are and include these Findings of Fact;

1. The addition of up to four (4) new Directional Signs, Sign type 1.6, match the five (5) existing signs Directional Signs on the site, and will not affect surrounding businesses or uses or result in adverse safety conditions for the general public.
2. The added signs will assist in traffic flow and provide the identity of stores, consistent with current signs and is appropriate for this location.
3. The signs are consistent to the current MSP, and the minor amendment relates to the addition of four (4) such signs.

The request for a minor sign plan amendment for PAL13-54, (DR06-66-A) for the Santan Village Master Sign Plan is approved and conforms to the Findings of Fact, subject to the following conditions;

- 1) Modifications to conform to the Project Narrative and Sign Type 1.6 detail, Signs Location Map and Suites Identify Map being Sheets 1, 2 and 3, prepared by Jeremy Galloway, YESCO LLC., and staff dated Oct. 9, 2013.
- 2) Materials, colors and styles shall match the existing Signs Type 1.6.
- 3) Directional Signs shall not adversely block vision or impede traffic safely.
- 4) The developer to otherwise conform to the Santan village comprehensive Signs Plan and submit for and obtain a Signs Permit.

Development shall otherwise conform to Town of Gilbert Zoning Code and conditions of cases DR06-66: Master SignPlan / Entry Monumentation Santan Village Regional Shopping Center.

Applicant is to provide updated plans as required by the Town of Gilbert along with Improvement plans and/or permit.

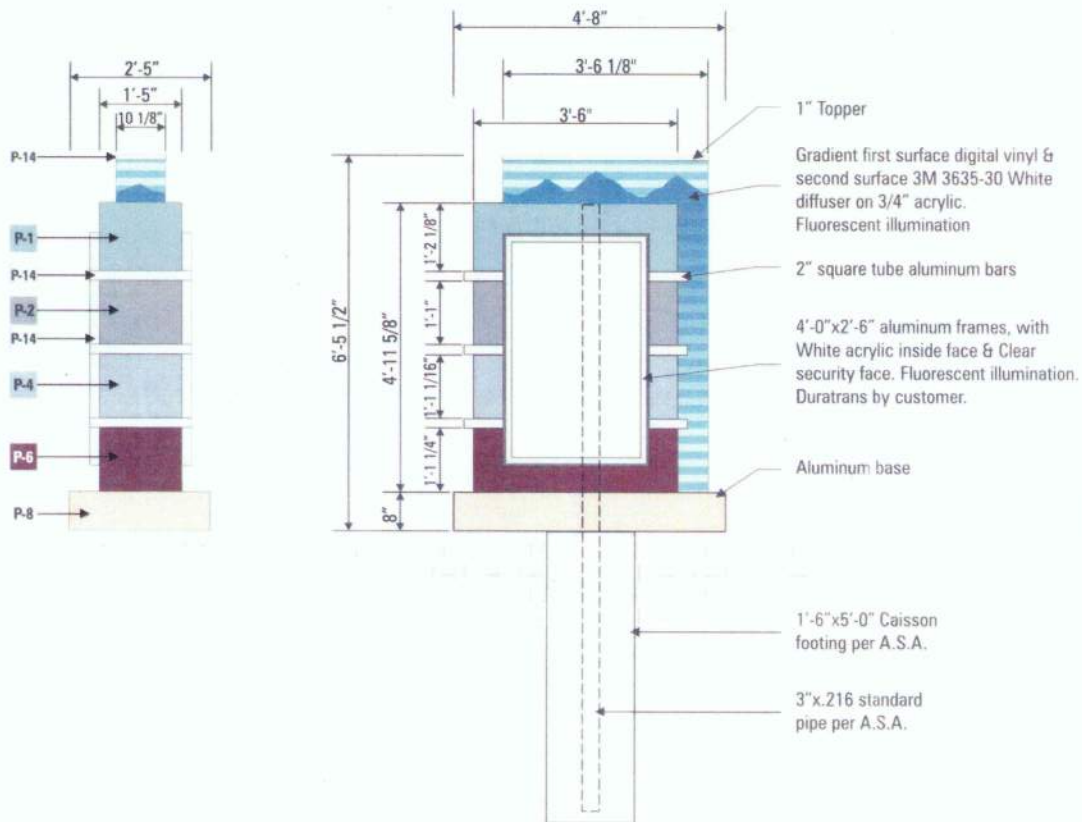
Yours Truly,



Al Ward
Senior Planner

Attachments;

- Project Narrative,
- Project Narrative and Sign Type 1.6 detail, Signs Location Map and Suites Identify Map being Sheets 1, 2 and 3, prepared by Jeremy Galloway, YESCO LLC.



SIGN TYPE 1.6 DOUBLE FACES DIRECTIONALS

SCALE: 1/2" = 1' - 0"

SCOPE OF WORK:

Manufacture & Install (4) Four
Sign type 1.6, Double faced
directional displays.

GENERAL NOTES:

PRODUCTION DIGITAL VINYL SAMPLES TO BE PROVIDED FOR CUSTOMER APPROVAL

INSTALL EXACT DISPLAY LOCATIONS TO BE STAKED PRIOR TO INSTALL

COLOR KEY

P-1	PAINT SHEEN	ICI 1250 RESTLESS SEA SATIN
P-2	PAINT SHEEN	ICI 1396 HERITAGE HOME SATIN
P-4	PAINT SHEEN	ICI 1590 PASQUE FLOWER SATIN
P-6	PAINT SHEEN	ICI 2 GRAPE HYACINTH SATIN
P-8	PAINT SHEEN	SW 6150 UNIVERSAL KHAKI SATIN
P-14	PAINT SHEEN	SW 42894 MEDIUM SATIN

CUSTOMER APPROVAL

BY: _____

PRINT NAME: _____

TITLE: _____

DATE: _____

☐ APPROVED WITHOUT EXCEPTION.

☐ APPROVED AS NOTED.

(INITIAL ALL CHANGES)

ELECTRICAL INFORMATION

VOLTS REQ'D: 277v

TOTAL AMP LOAD: 2.0

CIRCUITS REQ'D: (1) 20 AMP

☒ CUSTOMER TO PROVIDE REQUIRED ELECTRICAL TO SIGN LOCATION AND/OR ELEVATION.

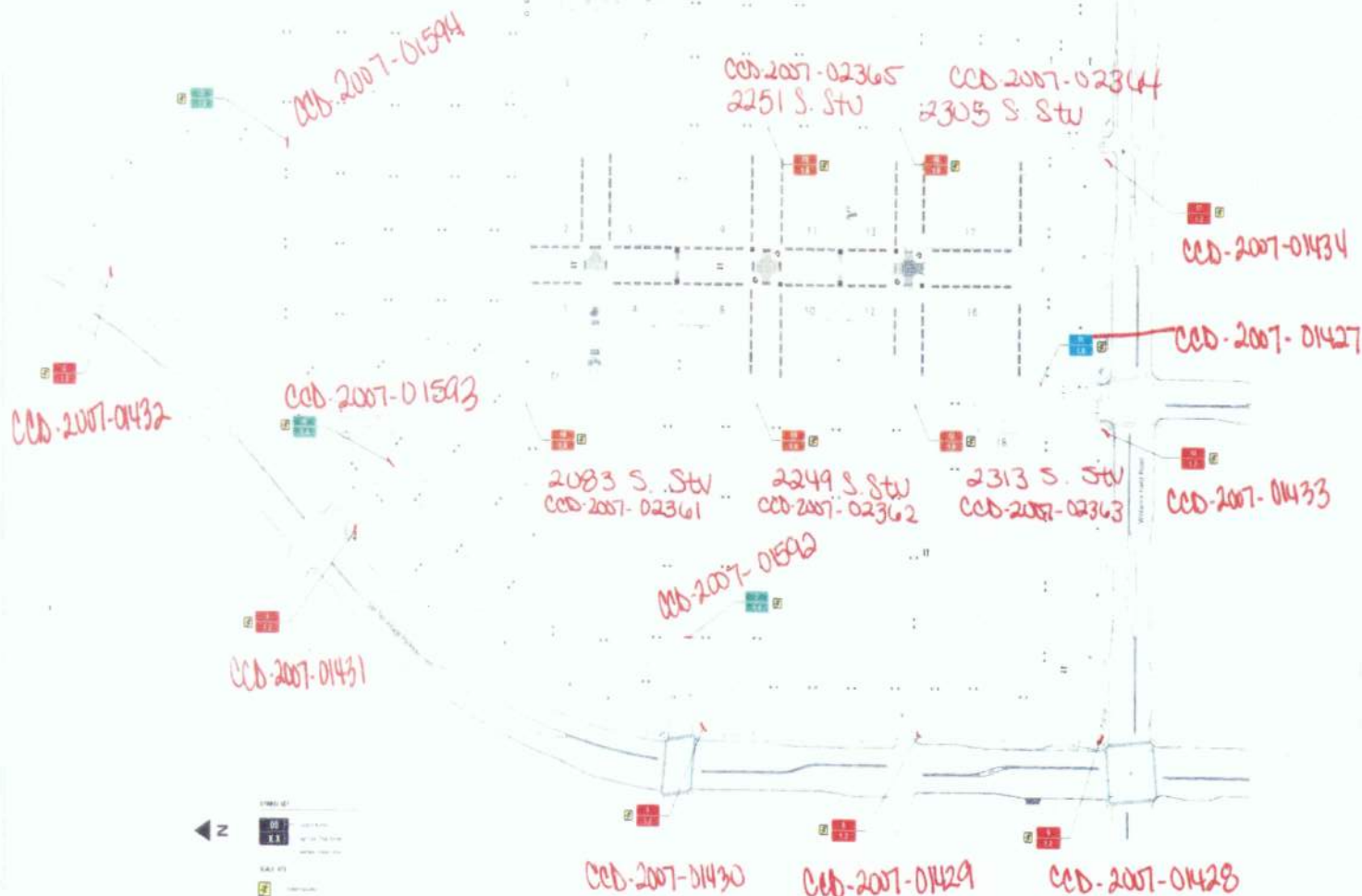
ELECTRICAL LETTER ☒ YES ☐ NO

0106-66 (154)

3 OF 3	
6093207	
SUBJECT TO CONDITIONS OF APPROVAL	
APPROVED PLANS	
Design Review Board	
Case #	
Date	
AS NOTED	
08/28/13	
DANIEL BERNETT	
KETH ROBERTS	
SANTAN VILLAGE	
2218 EAST WILLIAMS FIELD ROAD	
GILBERT, ARIZONA	
YESCO LLC	
PHOENIX DIVISION	
8725 N. CHANDLER ST. CHANDLER, AZ 85226-3335	
Phone: (480) 448-5728 / FAX: (480) 448-5827	
AZ Contractor License: 00054 PHOENIX DIVISION, 00054 PHOENIX DIVISION, 00054 PHOENIX DIVISION	

APPROVED PLANS
Design Review Board
Case #
Date

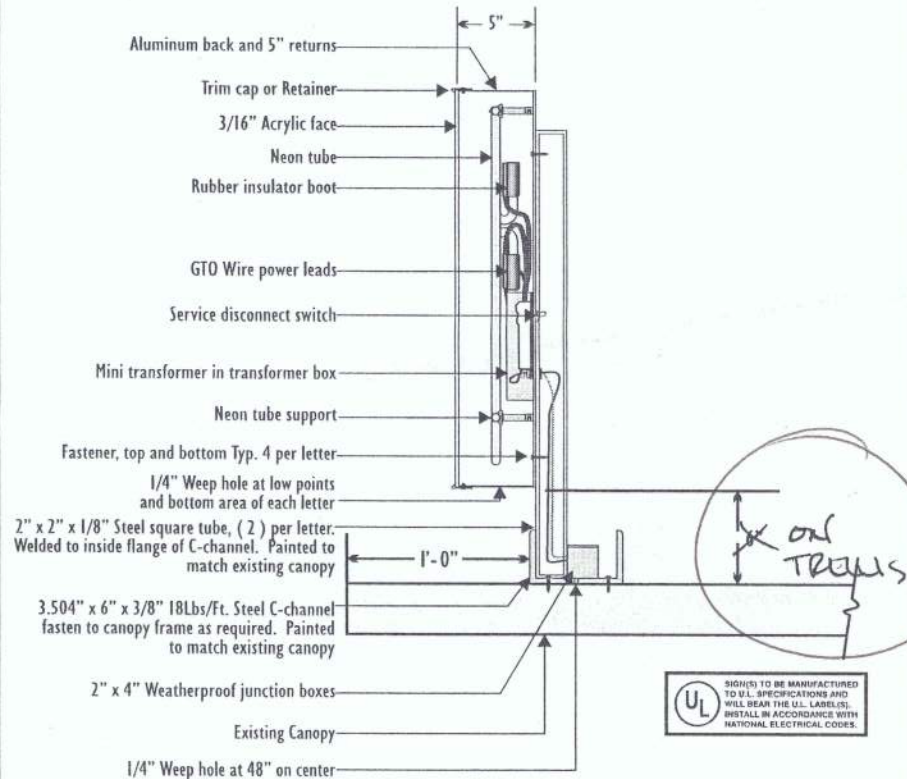
SUBJECT TO CONDITIONS OF APPROVAL



PROG-66-A (02)

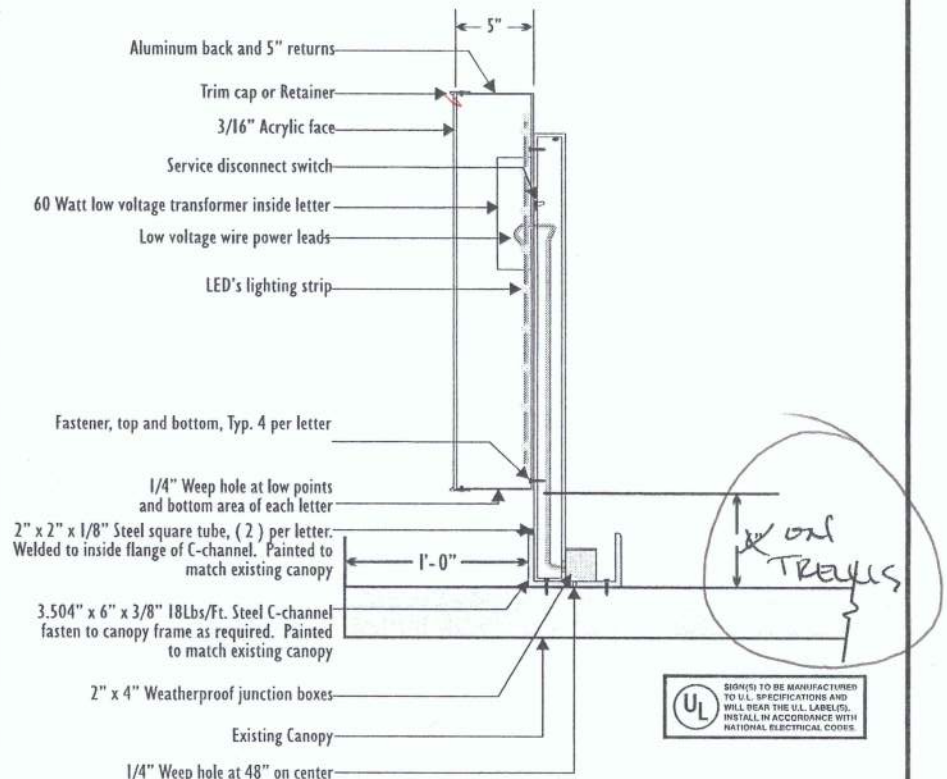
APPROVED DETAIL FOR SIGNS ON TRELLIS FEATURE
DR06-66

This is acceptable



**SELF-CONTAINED 20"- 36" HIGH
PAN CHANNEL NEON ILLUMINATED LETTERS**

SCALE: 1" = 1' - 0"



**SELF-CONTAINED 20"- 36" HIGH
PAN CHANNEL LED ILLUMINATED LETTERS**

SCALE: 1" = 1' - 0"

SANTAN VILLAGE

SANTAN VILLAGE

SIGN PERMIT COPY

MAIL



APPROVED PLANS

Design Review Board

CASE: DROG-66

DATE: 10-12-06

SUBJECT TO CONDITIONS OF APPROVAL

MASTER SIGN PLAN - BUILDING MOUNTED SIGNAGE

*September 21, 2006

westcor

omniplan

TABLE OF CONTENTS

- i. signage program
- ii. general requirements
- iii. tenant signage requirements
- iv. typical sign types
- v. typical storefront signage conditions map
- vi. individual building elevations and plans

SIGNAGE PROGRAM

SanTan Village is intended to look, work and feel like a district, a part of which the tenant signs are a vital contribution. Uncontrolled signs can quickly create a visual and verbal jungle and fail in their goal to communicate effectively, in turn undermining the overall district intent. The ultimate goal is to produce a colorful collage of signs that tastefully inform, delight and stimulate the shopper.

Due to the variety of architectural treatments within SanTan Village, each storefront sign will be carefully considered in relationship to its particular location. What may be appropriate in one location may not work in another. All sign materials must be consistent with the design theme, enhancing the storefront and evoking a positive retail image. Each proposed sign will be evaluated on its originality and compatibility with the neighboring signs, and its overall image within SanTan Village.

The Landlord reserves the right to disapprove any sign design which is not compatible with these criteria and the aesthetics of SanTan Village. Exceptions to these specifications are extremely rare and may be considered if, in the Landlord's opinion, the sign design is of exceptional merit and architectural quality. Such exceptions must be approved in advance by the Landlord. As with all undertakings, the ultimate success of SanTan Village depends on the positive contributions of all participants.

The SanTan Village Master Sign Plan shall be administered in accordance with the standards set forth within this Criteria. The Master Sign Plan shall supersede and replace any existing sign criteria or other program for the property.



These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Santan Village for the mutual benefit of all tenants and to comply with the approved Master Sign Plan for the development, regulations of the Town of Gilbert Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance shall be strictly enforced, and any non-compliant sign(s) installed by the Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is submitted as part of the Town of Gilbert Master Sign Plan submittal.

GENERAL REQUIREMENTS

Project Exterior Signage shall be governed by the Gilbert Crossroads center Amended PAD and this Master Sign Plan. All such signage is subject to the prior, written approval of Westcor, its successors and assigns ("Owner"), prior to permitting and/ or fabrication.

1. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, design color, illumination materials and method of attachment. Landlord approval of sign shop drawing submittal is required prior to fabrication or installation.
2. Tenant or Tenant's representative shall obtain all permits for signs and their installation.
3. All signs shall be constructed and installed at Tenant's sole expense.
4. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
5. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of the Developer or Developer's authorized representative. Developer shall stamp all approved signage designs based on this Sign Program, the Tenant shall be required to submit the stamped drawings to the City for permit.
6. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign require maintenance or repair, Developer shall give Tenant thirty (30) days written notice to effect said maintenance or repair. Should tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from the receipt of Developer's invoice. Any sign or component of a sign, which is in a damaged or deteriorated condition and constitutes a danger or hazard to public safety, or a visual blight shall be promptly repaired or replaced. Surface materials and components shall be kept free of chipping, peeling, fading, cracks, holes, buckles, warps, splinters, or rusting visible from an adjacent property or street.
7. Tenant is responsible for hiring a licensed (State of Arizona) structural engineer for all applicable signs.
8. A licensed sign contractor or a licensed Class A or Class B contractor shall install all signage.
9. Tenant is responsible for all electrical hook-up of their signs. Building permits and electrical permits for signs may be submitted as part of building permits or tenant finish permits.
10. All signs shall be placed where they are visible and legible for their intended function.

SPECIFICATIONS - TENANT SIGNS

A. General Specifications

Imaginative signs utilizing a variety of materials are encouraged. Adaptation of current sign practices may be necessary in order to comply with these criteria.

1. No animated, flashing or audible signs shall be permitted.
2. All signs shall comply with all local building and electrical codes.
- ✈ 3. No exposed raceways, crossovers or conduits shall be permitted. Only structural support maybe used for mounting a sign to building canopy. All tenant signage shall consist of individual letters and/or logos. Developer shall have the sole and separate discretion in varying any provision of these specifications.

Note: Canopy, Collonade and Trellis signs are allowed for first floor retail tenants provided that Tenants design does not include an exposed raceway. All raceways for conduit and support of the sign must be designed by Tenant and approved by the Landlord and Town of Gilbert prior to installation."
4. All cabinets, conductors, transformers and other equipment shall be concealed.
5. Painted lettering shall not be permitted except as approved by the Developer and the Town of Gilbert.
6. Any damage to the building face or roof deck resulting from Tenant's sign installation shall be repaired at the Tenant's sole cost.
7. Upon removal of any sign by Tenant, any damage to the building shall be repaired by Tenant or by the Developer at tenant's cost.
8. Signs shall be integrated into the building architecture and be compatible with the color and material palette of the individual tenant. Letter size and location must be proportional to the overall storefront design and in compliance with the design district criteria.
9. Lighting of signage is encouraged and electrical service to Tenant's signs shall be from Tenant's electrical service and on a 24 hour timeclock. Operating times to be determined by Landlord.

GENERAL REQUIREMENTS (continued)

DESIGN REQUIREMENTS

A. Sign Area

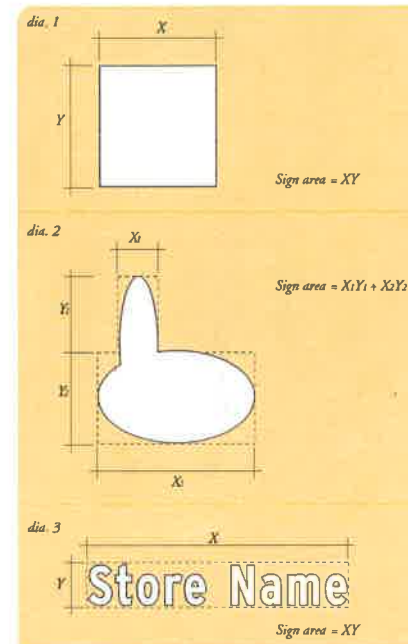
1. The maximum aggregate sign area per building elevation shall be calculated by multiplying one and one-half (1.50) times the length of the storefront(s) and/or elevation(s) occupied by the Tenant. For major and mini- major Tenants, sign area may be increased by up to twenty five (25%) percent to accommodate national corporate identification programs. For shop and pad Tenants located within seventy-five (75) feet of a street property line, sign area for the elevation parallel to the street shall be calculated by multiplying one (1.0) times the length of the storefront(s) and/ or elevation(s) occupied by the Tenant. Each shop tenant and freestanding pad Tenant shall be permitted a minimum of thirty two (32) square feet of sign area per elevation upon which signage is placed.

2. Sign Area: Sign Area. The area of the smallest rectangle, or combination of rectangles, which comprises the sign face or encompasses the sign copy. The area of a sign is the entire face of the sign and includes any art work and insignia within a single continuous perimeter, including any spacing between letters, figures, designs, and structure of the sign other than the sign base, together with any frame or other material, color, or condition which forms an integral part of the display and is used to differentiate such sign from the wall or background against which it is placed. For a freestanding sign, the definition of sign area does not include the perimeter architectural embellishments, base structure, and details such as decorative columns and caps. When the sign only consists of letters, designs, or figures engraved, painted, projected, or fixed on a building or perimeter wall, the total area of the sign shall be the area of the smallest rectangle, or combination of rectangles, within which the entire fixed lettering and/or artwork is inscribed. All sides of a sign visible from any 1 location shall be measured in determining the area of the sign, except that only 1 side of a sign shall be measured if the 2 sides are back-to-back or separated by an interior angle of 45 degrees or less. If the two 2 sides are not of equal size, the larger side shall be measured. A back-to-back sign has parallel faces separated by not more than 2 feet.

3. Office tenant signage area allowances are based on the same square footage as retail/restaurant tenants are

B. Letter Height and Placement Restrictions

1. Tenant signage shall be installed in accordance with the approved Master Sign Plan in location designated by the Developer and/ or Developer's agents.



2. Tenants occupying shall be limited to a maximum sign height of one-hundred (100") inches. All national retailers shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained in the approved Master Sign Plan. Tenants are allowed a maximum of 2 wall, fascia or canopy signs per storefront. In addition they may have also have a variety of the other sign types, but may not exceed their square footage allowance.

3. Dimensions of sign on wall surface: In accordance with the section 4.407C-1.F: sign regulations of the Gilbert Land Development Code, the length of a wall sign shall not exceed eighty (80%) percent of the horizontal length of the exterior building elevation and/or wall surface upon which it is placed.

4. Wall signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character.

5. Off -site, wall mounted signs shall be allowed for the second story office tenants and food court tenants. These wall signs may be located on building walls other than the wall of the space occupied by the tenant. All signs shall be placed where they are visible and legible for their intended function.

6. Per LDC Section 4.407C.1d.: Multi-Story Buildings. Wall Signs shall only be located on one floor of a multi-story building. Currently there is a LDC text amendment in the process for consideration of modifying this prohibition. If this prohibition is modified: in multi-story buildings, retail tenants are allowed signage on the first level on the building faces that have retail storefronts while, office tenants are allowed signage on the second level in the back of house areas where there are no retail storefronts. In addition, retail tenants located at the corners of the building may be permitted to display signs on two floors of the building, if both floors are occupied by the tenant.

7. Building address numerals are allowed above the roof lines on building parapets and will meet all fire department guidelines.

8. The height of the wall sign shall not exceed 80% of the vertical dimension of the background (ie. the sign band) to which the signage is attached.

9. Shop tenant signage shall not exceed 80% of the tenant's leased storefront length.

C. Letter Style or Logo Restrictions

1. Copy and/ or logos utilized shall be tenant's choice, subject to the approval of Developer and/or Developer's agents and the Town of Gilbert.

GENERAL REQUIREMENTS (continued)

D. Illumination

1. Tenant building signage maybe internally or externally illuminated, backlit to create a silhouette, exposed neon to be contained within the letterform or logo section and/ or combination of lighting methods mentioned herein.

E. Cabinet Signs

1. A cabinet sign is a 3-dimensional enclosed structure which includes all text, logos, and symbols with a single or double sided sign face. Per this Master Sign Plan cabinet signs greater than 6 s.f. in area are allowed provided that they:
 - a. do not exceed the permitted Wall Sign area; and
 - b. Such sign has a:
 - Cabinet that is stylized in shape, rather than rectangular, to reflect the shape of the image printed on the sign face; or
 - Molded sign face, with embossed copy or sign copy or sign copy in relief; or
 - Nationally registered trademark with colored sign copy on a colored background.

Note - some blade signs may be considered cabinet signs, depending on their construction and must meet the requirements listed above.

F. Window Signs

1. Tenants are allowed signage within or on their storefronts as well as at the glass tower structures adjacent to their storefronts, these are considered Window Signs. These signs are located either on the back side of the glass storefront or within an area 6 feet behind the storefront window. They are considered part of the Tenant's allowed sign area allotment.

If Tenant chooses to place an image behind the 6', this "sign" shall not be a part of the permitted wall sign area, nor shall they exceed 25% of the total window area.

G. Additional Sign Types

1. Code required Identification Signs in the form of wall plaques are allowed adjacent to building doors.
2. Tenants are allowed to place vinyl suite identification lettering on their back of house doors.
3. Owner is allowed to add building identification numerals to all 3 "back faces" of two story building for office tenants, as well as office tenant directories at the exit stairs and elevators. These signs cannot exceed the maximum allowable area based on tenant square footage. Owner is also allowed building identification at the food court.
4. Tenants are allowed temporary signs but must follow all requirements of the Town of Gilbert Land Development Code (LDC).

GENERAL CONSTRUCTION REQUIREMENTS

1. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
2. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
3. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
4. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
5. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof.

CONFLICTS

In the event of a conflict between this Master Sign Program and the Design Criteria Guidelines for SanTan Village property, The Master Sign Plan shall control over the Design Criteria Guidelines.



Photo represents a Window Sign.

TYPICAL SIGN TYPES

This following is a list of the typical sign types allowed at SanTan Village. For more detailed information regarding these signs refer to the descriptions on the following pages.

While there are several sign types outlined in this manual, it is discouraged that a single tenant use all of the allowable sign types to identify their space.

- SIGN TYPE A - FASCIA MOUNTED SIGNS
- SIGN TYPE B - PROJECTING BLADE SIGNS
- SIGN TYPE C - WALL MOUNTED SIGNS
- SIGN TYPE D - CANOPY SIGNS
- SIGN TYPE E - WINDOW SIGNS & GRAPHICS
- SIGN TYPE F - PRINTED MENU SIGNS
- SIGN TYPE G - DIMENSIONAL ELEMENTS

SIGN TYPE A - FASCIA MOUNTED SIGNS
Fascia mounted signs are located above the storefront display windows and/or entry doors, parallel to the building facade. The colors, finishes and materials used should convey the tenant's unique identity and create a unified design with the tenant's storefront display.

Mounting Restrictions: Wall mounted fascia signs shall not overlap or cover building features such as cornices, eaves, windows, door frames, columns and other decorative elements.

Where non-illuminated sign types are considered, the following restrictions shall apply:

- Individual dimensional letters mounted directly to wall surface shall be at least 1/2" thick on 1/2" spacers, or 1" thick if directly applied.
- Letters formed from thin metal plate or similar materials shall be pin mounted at least 1" from the signing surface.
- The landlord requires external (spot) illumination for non-internally illuminated signs.

SIGN TYPE B - PROJECTING BLADE SIGN
The tenant may elect to utilize a double sided projecting blade sign that is mounted perpendicular to the building for their primary identity. Blade mounted signs should display the tenant's unique characteristic while evoking the sense of contemporary high craftsmanship and design sensitivity.

Illumination: Projecting signs may be externally illuminated with appropriately designed down lighting outriggers or internally illuminated. Light boxes with acrylic faces will not be permitted.

Mounting Restrictions: Minimum clear distance from the bottom of a projecting blade sign to a pedestrian surface shall be 9'-6". Tenant blade signs shall not project from the building face more than a maximum of 4'-0". The sign must be mounted to the tenants storefront structure and not the Landlord's building structure. Blade signs may be mounted to underside of building canopy over tenant storefront. The tenant is responsible for all structural support for their blade sign. Blade signs may be a maximum of 12 sf in area.

SIGN TYPE C - WALL MOUNTED SIGNS
Wall signs are parallel to the building facade/walls. The colors, finishes and materials used should convey the tenant's unique identity and create a unified design with the tenant's storefront display. Wall signs should express characteristics which evoke a sense of contemporary high craftsmanship and design sensitivity. The tenant shall submit the design of the proposed sign for review according to the procedures outlined.



TYPICAL SIGN TYPES (continued)

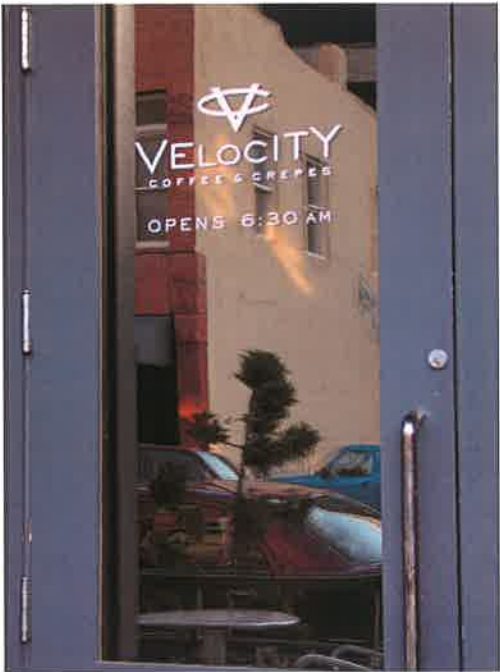
SIGN TYPE D - CANOPY SIGN

These signs may consist of individual letters and/or tenant logo only. Each letter/logo must be pinned using a structural support (by Tenant) attached to the canopy. Tenant is allowed to add a channel to the existing trellis to support the sign as well as house the conduit for the sign. Tenant is allowed to mount a sign to the top of the canopy where trellises occur.



SIGN TYPE E - WINDOW SIGNS & GRAPHICS

The tenant may apply a logotype, a logo, or a decorative type band to the back face of storefront glazing, or within 6' of the backside of the glass. Window signs are meant to be subordinate to the primary identity signage; type bands are to provide additional information such as good or services provided, or a changing marketing campaign.



SIGN TYPE F - PRINTED MENUS-DISPLAYS
(For Restaurant and In-line Food Tenants Only)

The tenant has the option of displaying the printed table menu in a tamper resistant enclosure fabricated in materials appropriate to the restaurant design. Menus adhered to the backside of storefront glazing are prohibited. Menus 6 s.f. or less do not require a permit. These signs shall be placed within 10' of the building entrance.



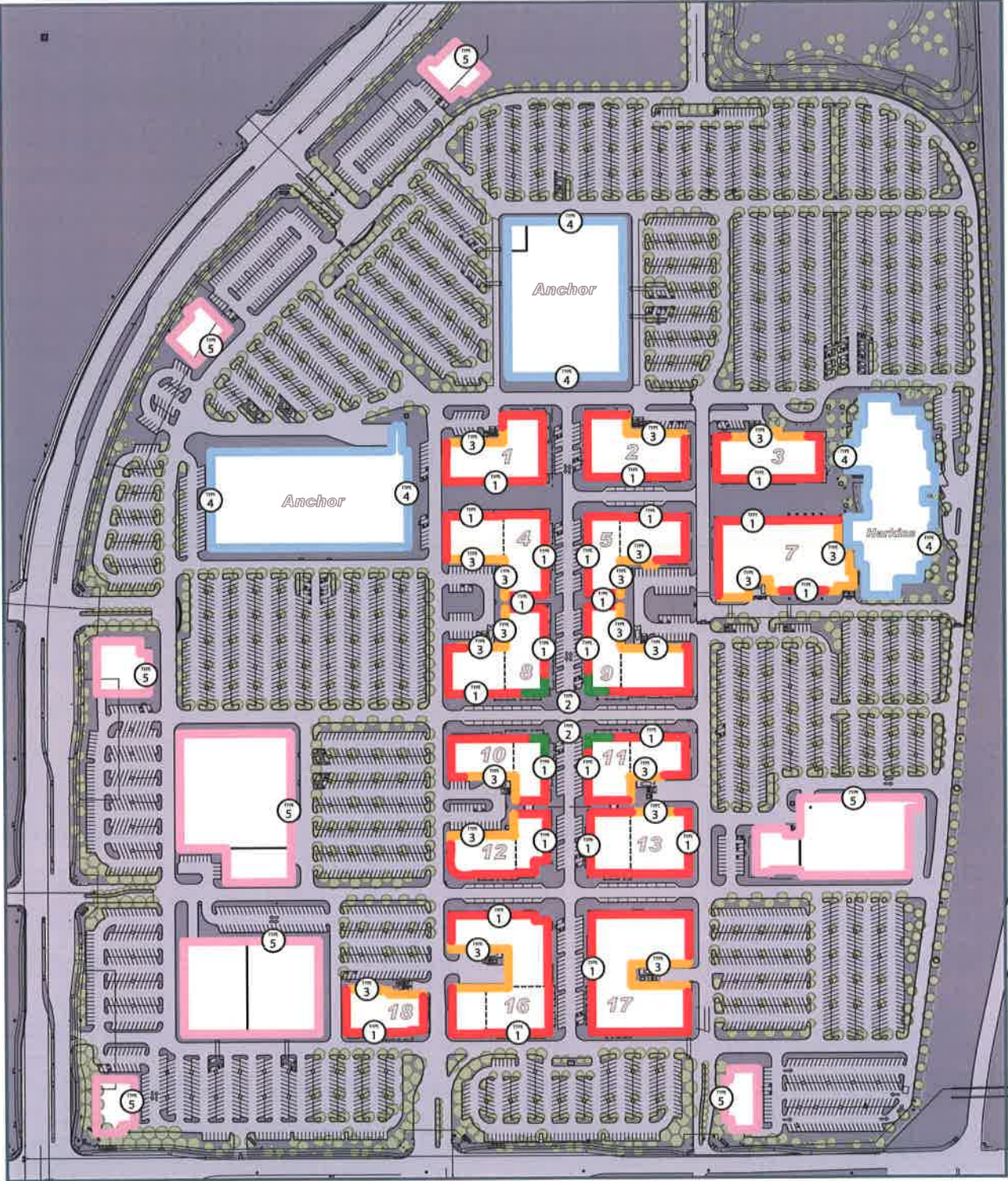
SIGN TYPE G- DIMENSIONAL ELEMENTS

Tenants may use additional dimensional graphic elements that relate to their business. These additional graphic elements help reinforce the identity of the tenant without the use of additional words, trademarks and conventional signage. Colors, finishes and materials used should convey the tenant's unique identity and create a unified design with the tenant's storefront display. Dimensional elements should have the characteristics that evoke a sense of contemporary high craftsmanship and design sensitivity; premium fabrication of these elements is absolutely required. The tenant shall submit the design of the proposed design for review according to the procedures outlined. The Landlord reserves the right to reject any design or design element for any reason.

Dimensional elements shall not overlap or cover any building features such as cornices, eaves, door frames, columns, and other decorative elements. Nor should these elements obstruct or overlap onto neighboring tenant spaces.



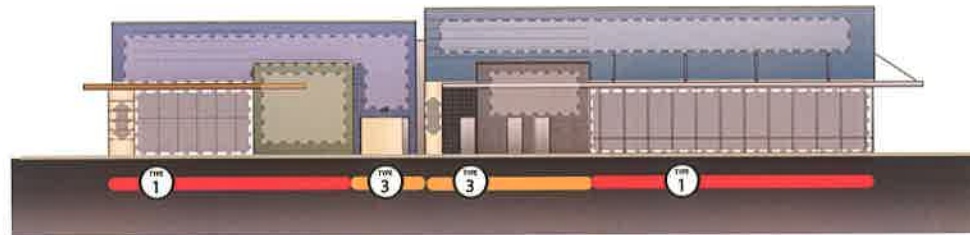
TENANT STOREFRONT CONDITIONS MAP



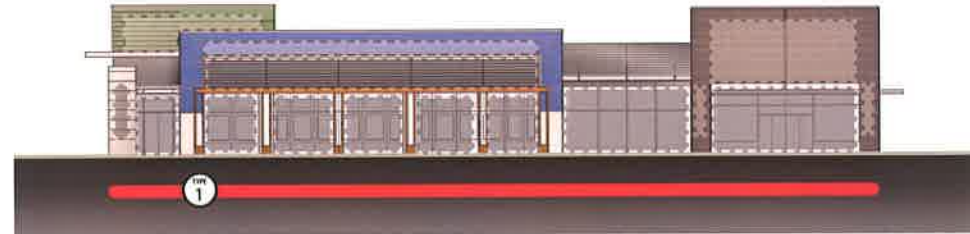
Key: Storefront Signage Conditions		
Storefront Type		Allowable Sign Types
 1	Single Level Storefront	A, B, C, D, E, F, G,
 2	Corner Tower	A, B, C, D, E, G
 3	Single Level Service	C
 4	Anchor Store	A, B, C, D, E, G
 5	Freestanding Building	A, B, C, D, E, F, G

BUILDING ELEVATIONS

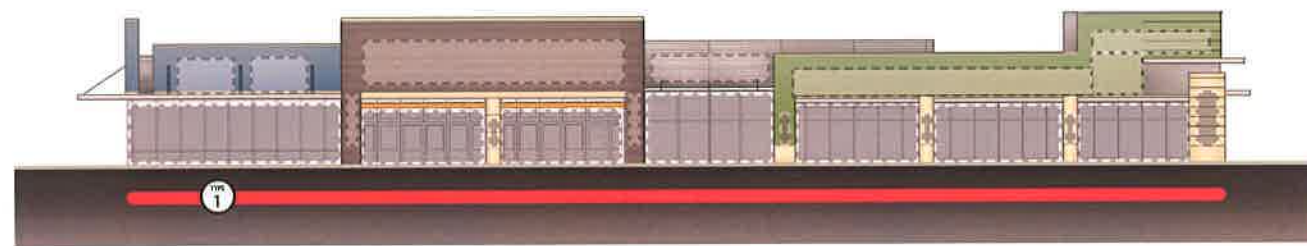
BUILDING 1



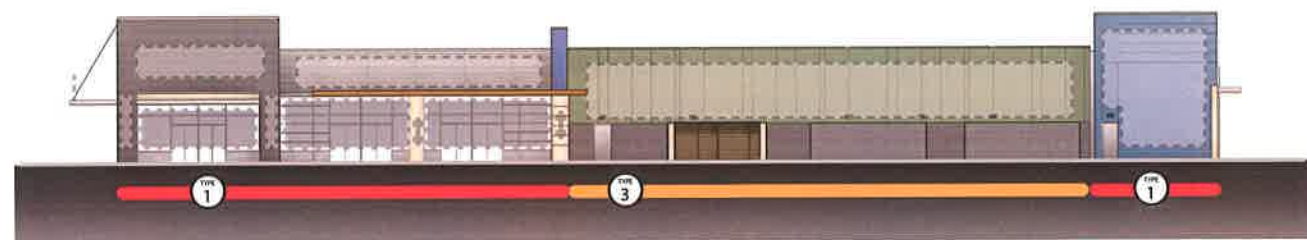
Building 1 - West Elevation
Scale: 1"=40'



Building 1 - East Elevation
Scale: 1"=40'



Building 1 - South Elevation
Scale: 1"=40'



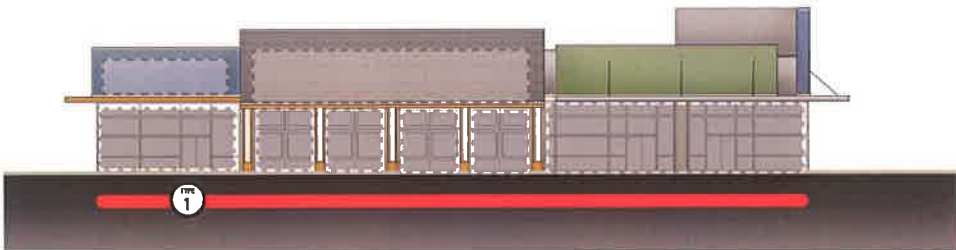
Building 1 - North Elevation
Scale: 1"=40'

 Signage zone on Tenant Storefront

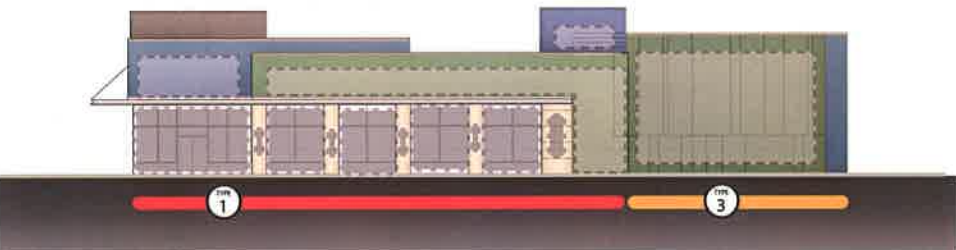
 Signage zone on Building

BUILDING ELEVATIONS

BUILDING 2



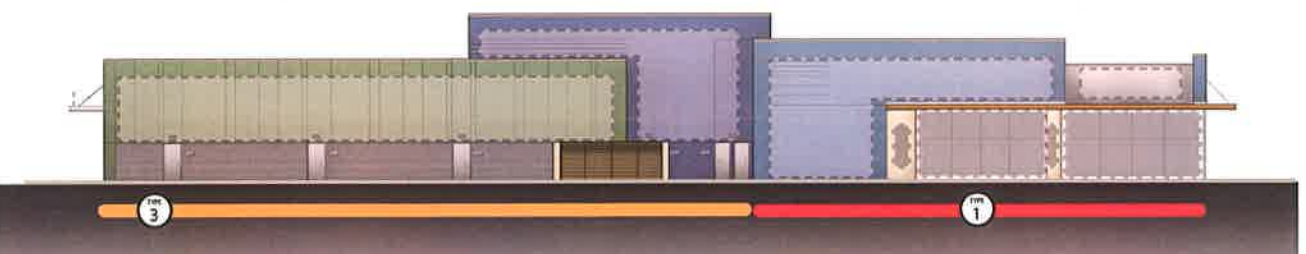
Building 2 - West Elevation
Scale: 1"=40'





Building 2 - East Elevation
Scale: 1"=40'



Building 2 - South Elevation
Scale: 1"=40'

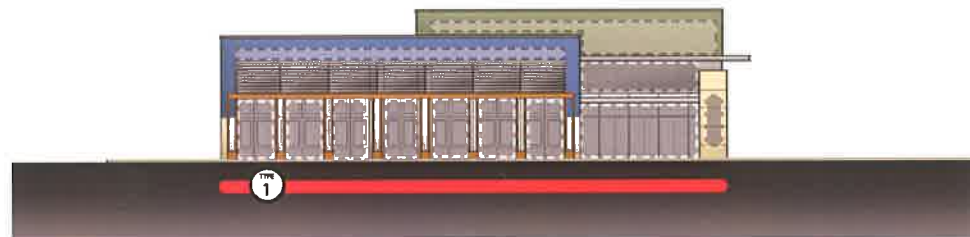


Building 2 - North Elevation
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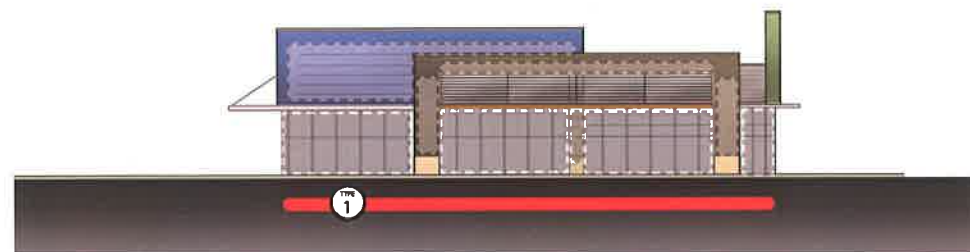
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

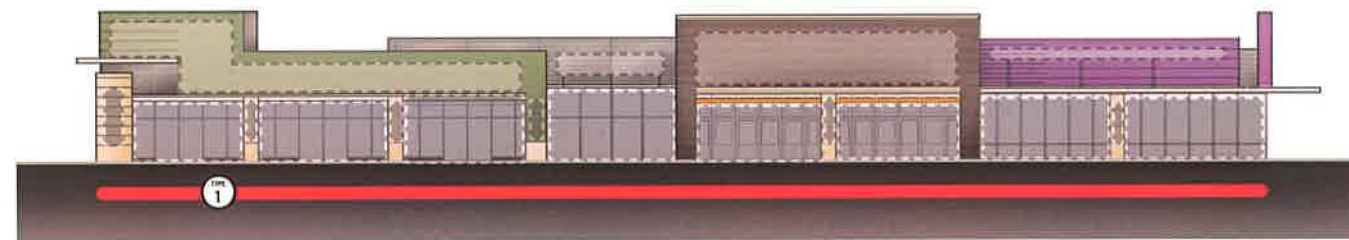
BUILDING 3



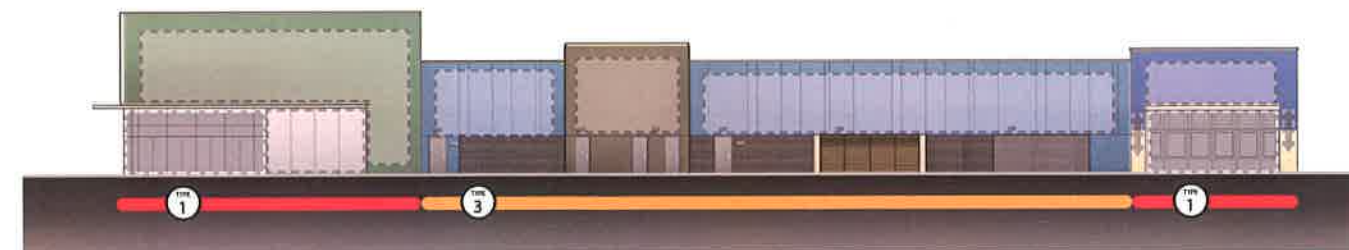
Building 3 - West Elevation
Scale: 1"=40'





Building 3 - East Elevation
Scale: 1"=40'



Building 3 - South Elevation
Scale: 1"=40'

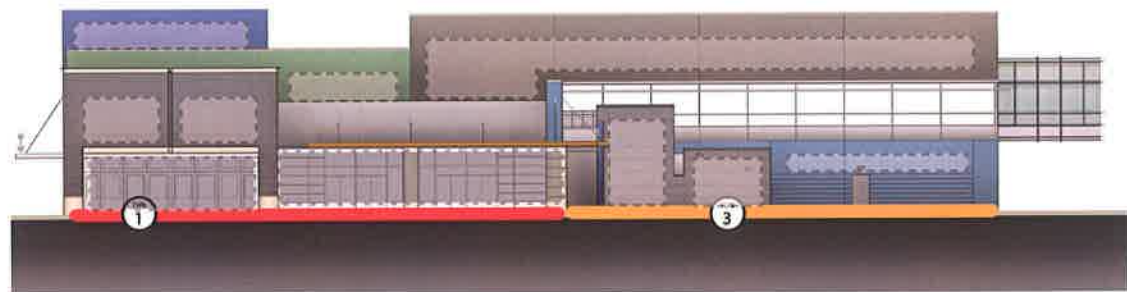


Building 3 - North Elevation
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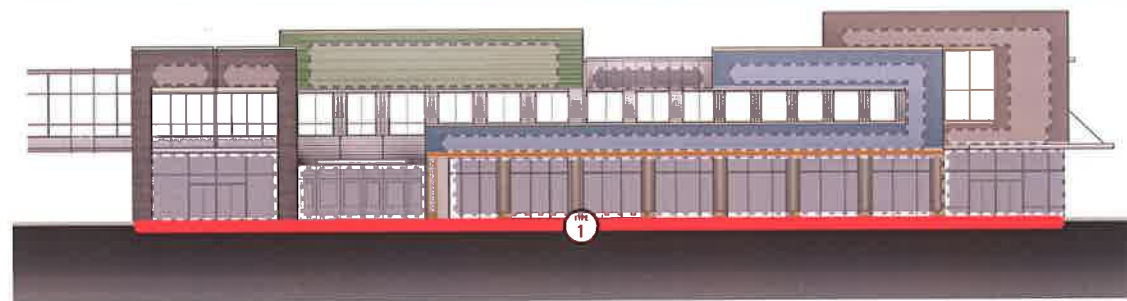
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

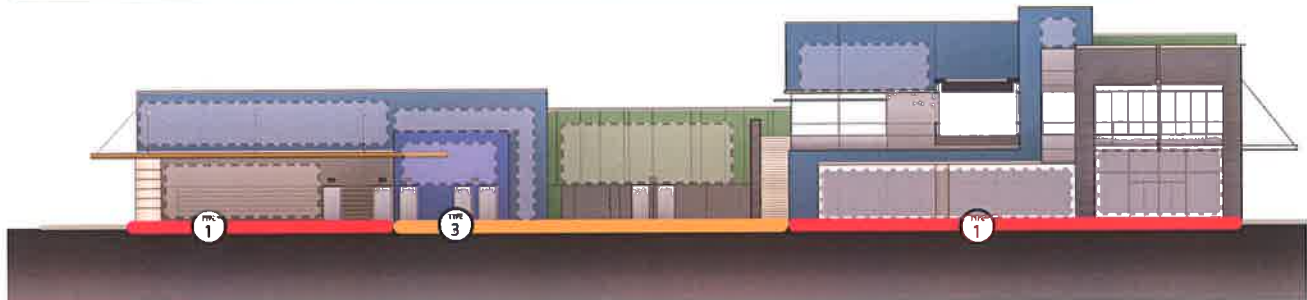
BUILDING 4



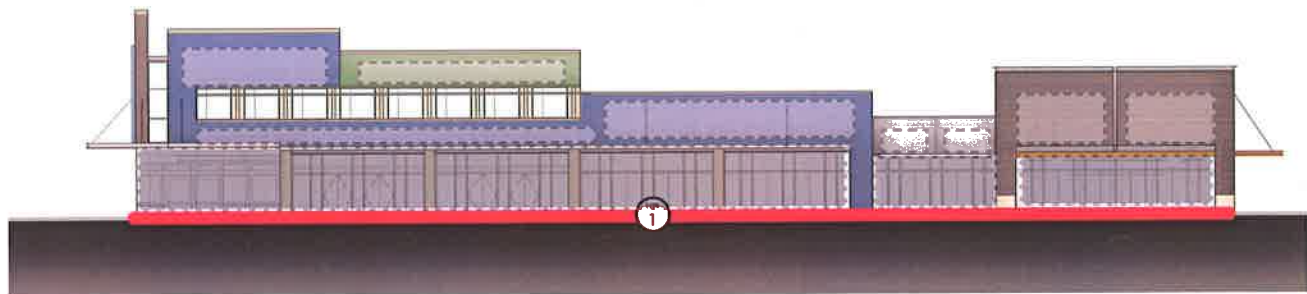
Building 4 - West Elevation
Scale: 1"=40'





Building 4 - East Elevation
Scale: 1"=40'



Building 4 - South Elevation
Scale: 1"=40'

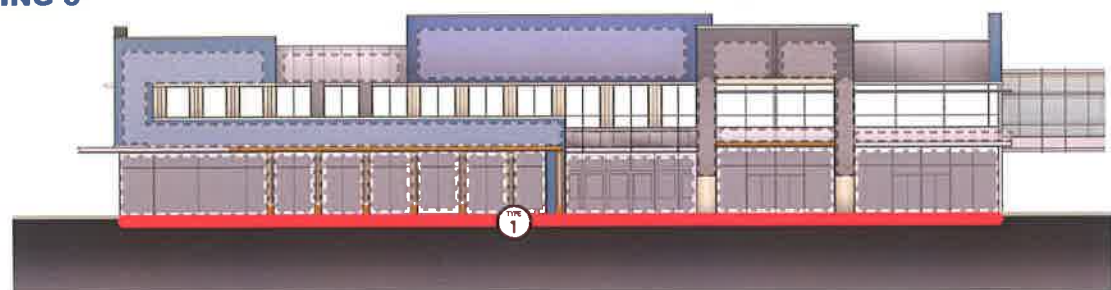


Building 4 - North Elevation
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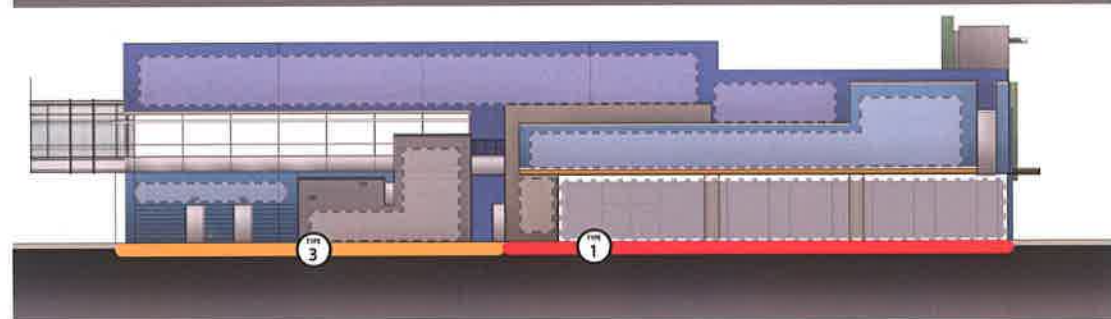
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

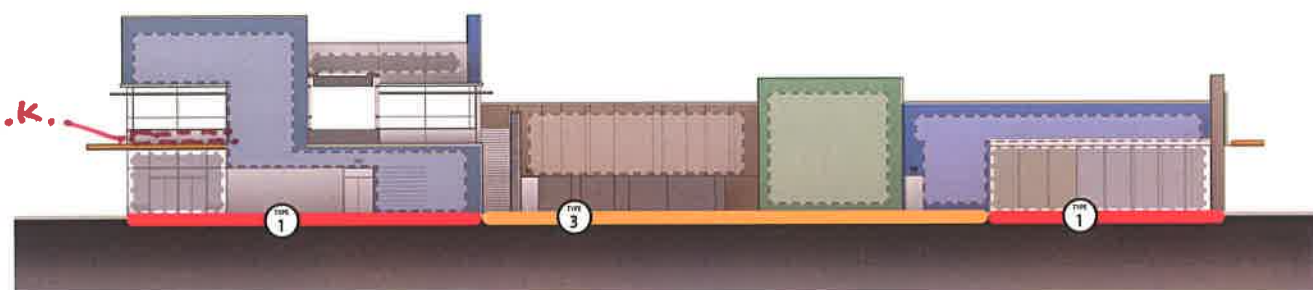
BUILDING 5



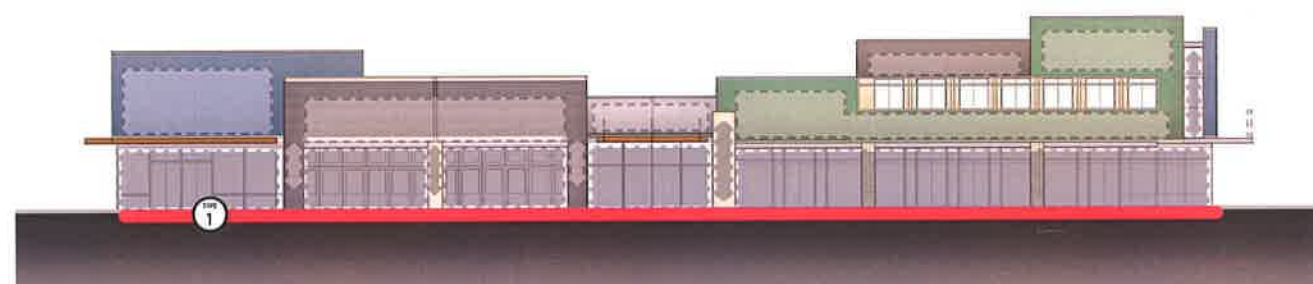
Building 5 - West Elevation
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Building 5 - East Elevation
Scale: 1"=40'



Building 5 - South Elevation
Scale: 1"=40'



Building 5 - North Elevation
Scale: 1"=40'

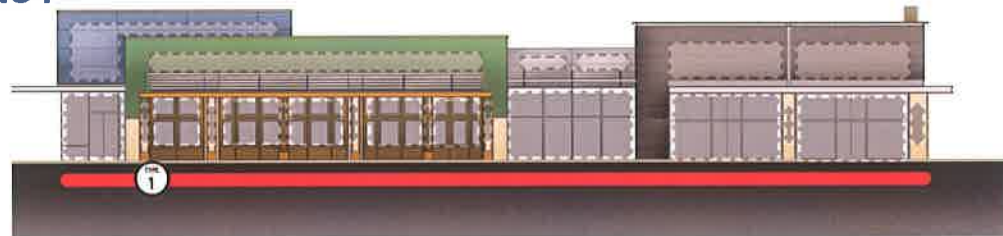
-  Signage zone on Tenant Storefront
-  Signage zone on Building

APPROVED PLANS
ADMINISTRATIVE DESIGN REVIEW

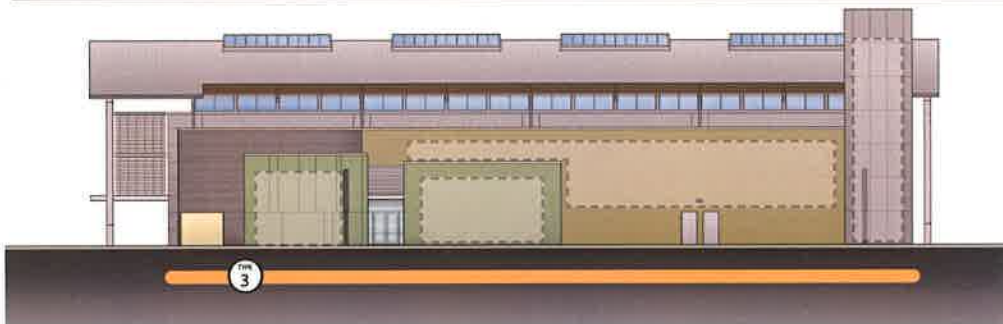
O.K.

BUILDING ELEVATIONS

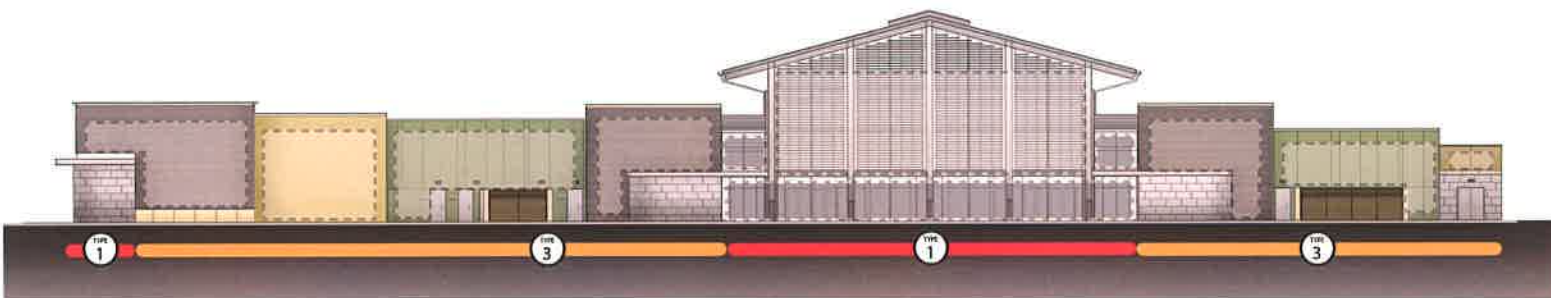
BUILDING 7



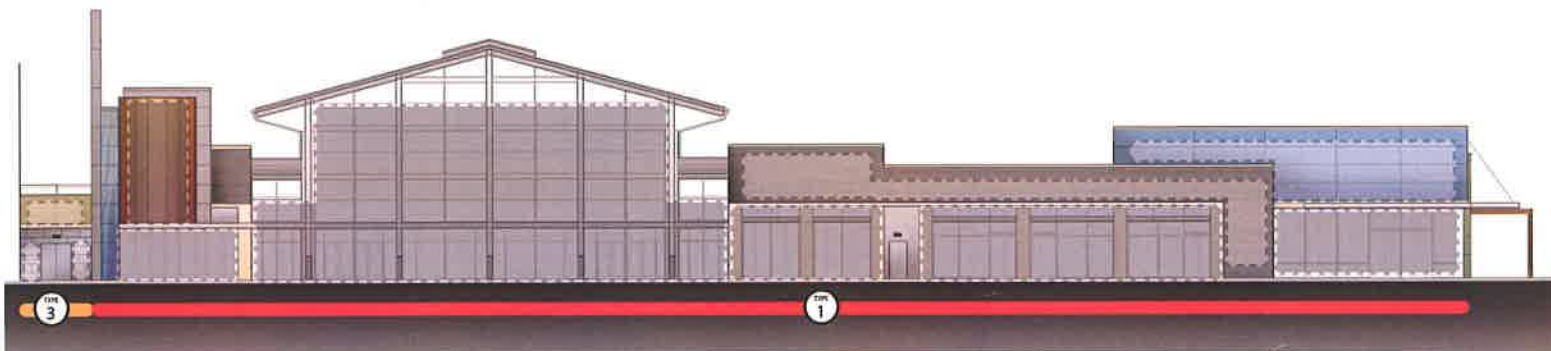
Building 7 - West Elevation
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Building 7 - East Elevation
Scale: 1"=40'



Building 7 - South Elevation
Scale: 1"=40'



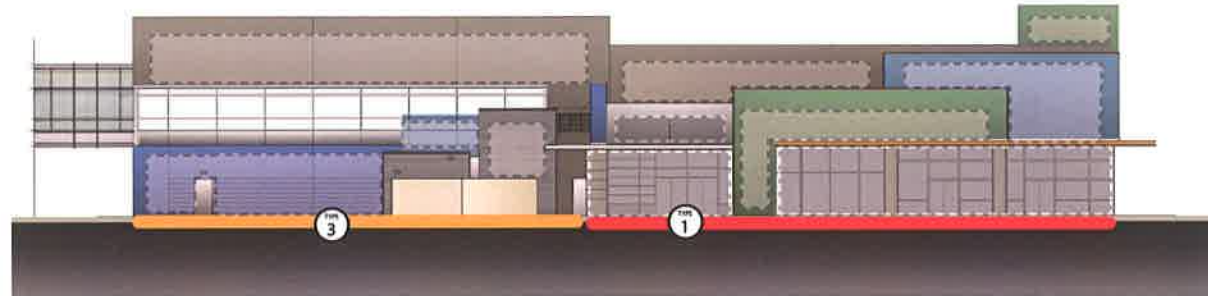
Building 7 - North Elevation
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 Signage zone on Tenant Storefront

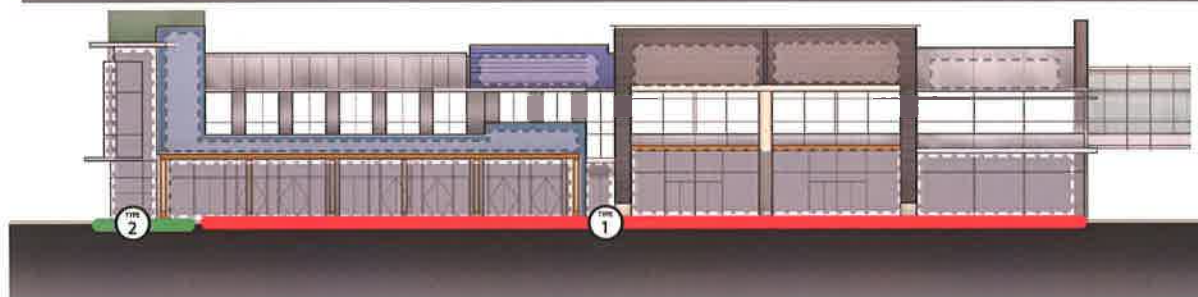
 Signage zone on Building

BUILDING ELEVATIONS

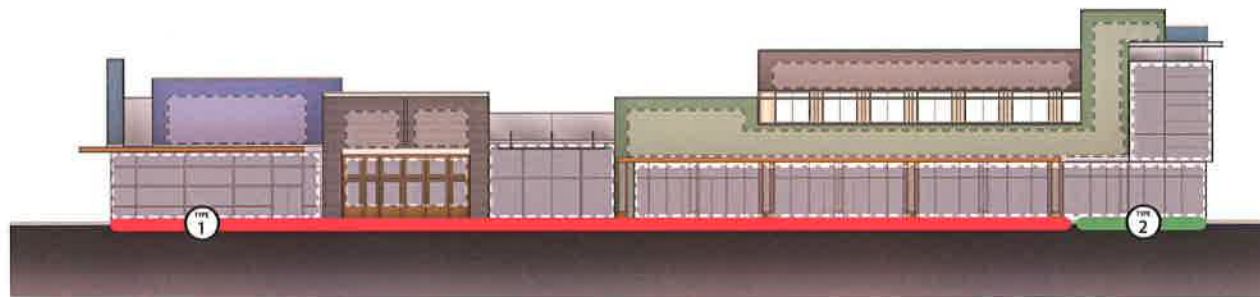
BUILDING 8



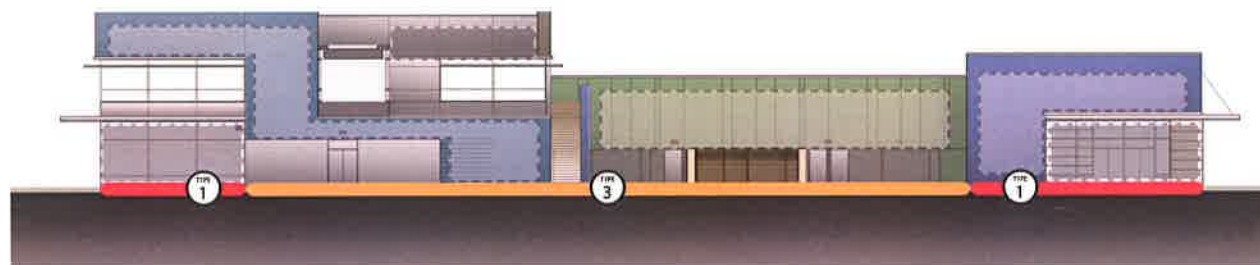
Building 8 - West Elevation
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Building 8 - East Elevation
Scale: 1"=40'



Building 8 - South Elevation
Scale: 1"=40'

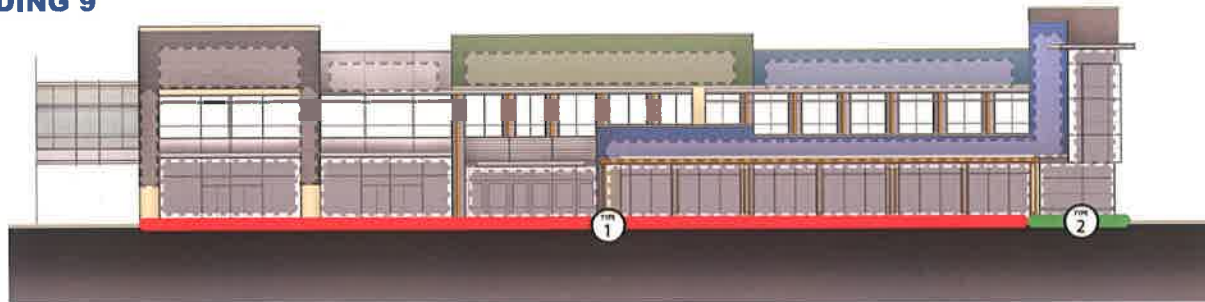


Building 8 - North Elevation
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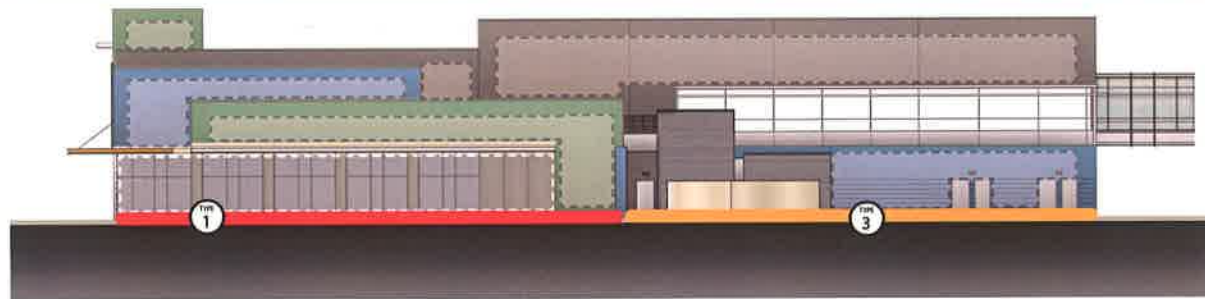
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

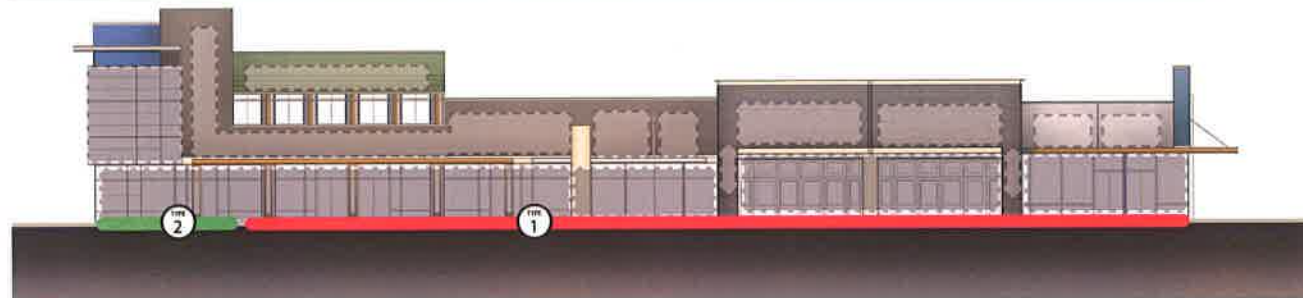
BUILDING 9



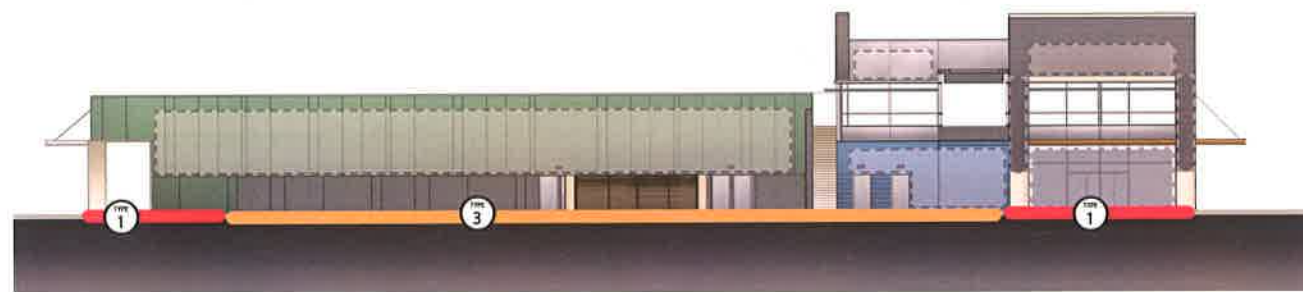
Building 9 - West Elevation
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Building 9 - East Elevation
Scale: 1"=40'



Building 9 - South Elevation
Scale: 1"=40'

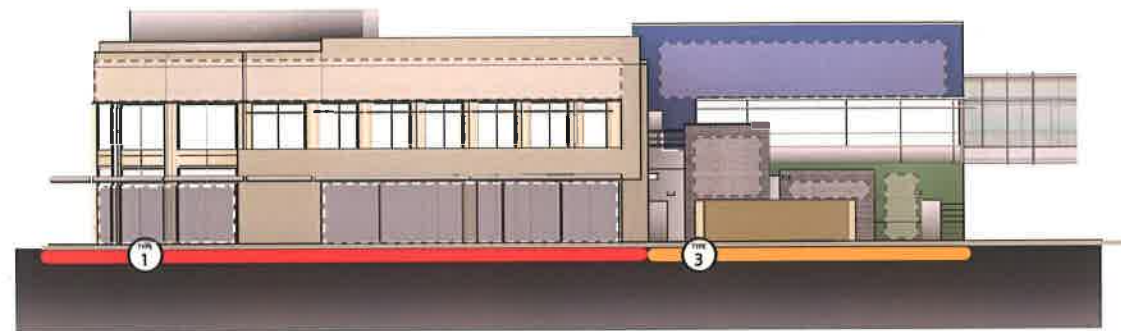


Building 9 - North Elevation
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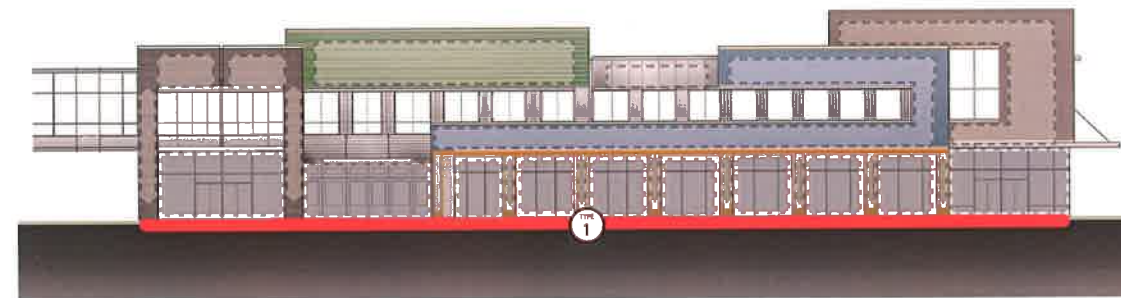
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

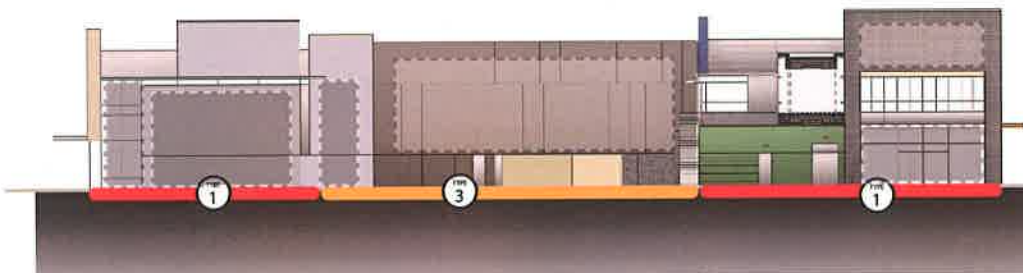
BUILDING 10



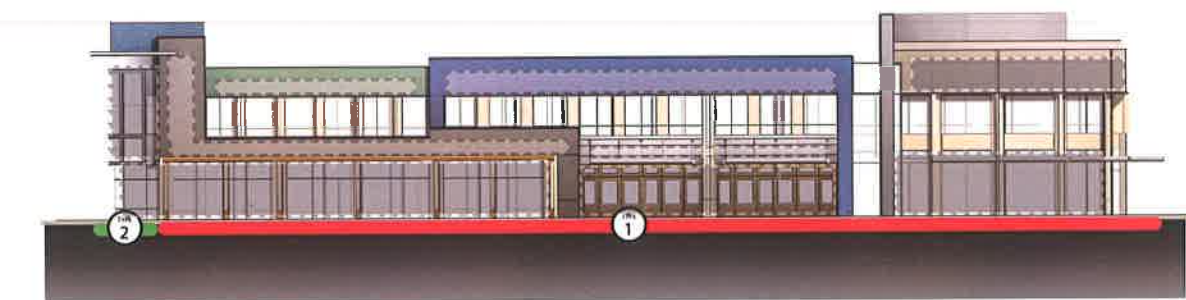
Building 10 - West Elevation
Scale: 1"=40'





Building 10 - East Elevation
Scale: 1"=40'



Building 10 - South Elevation
Scale: 1"=40'

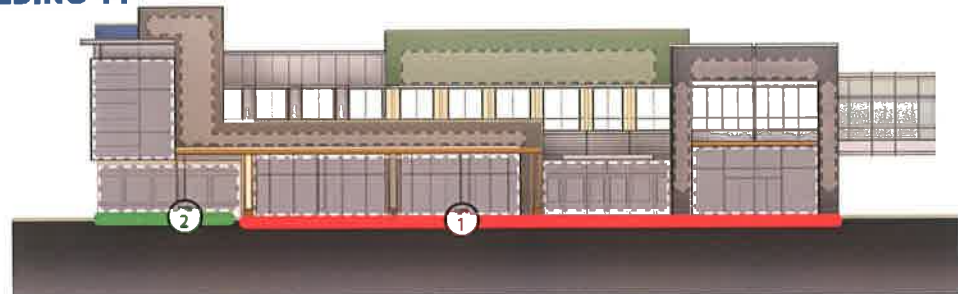


Building 10 - North Elevation
Scale: 1"=40'

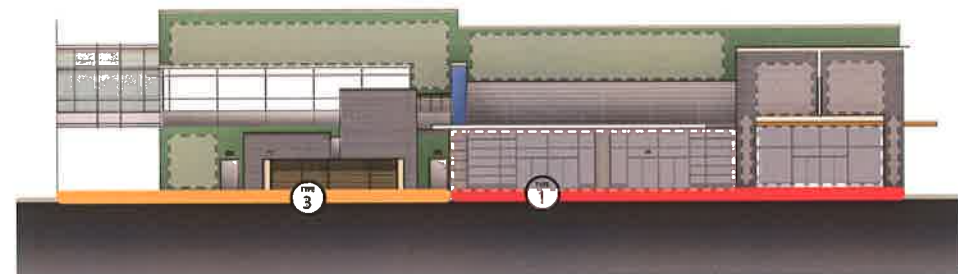
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

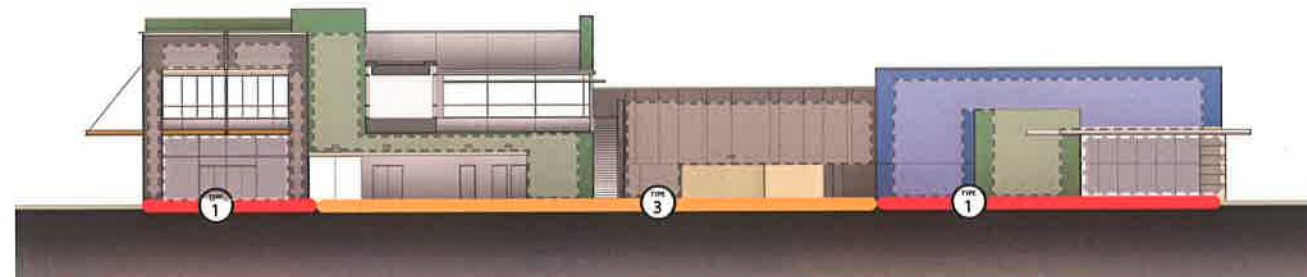
BUILDING 11



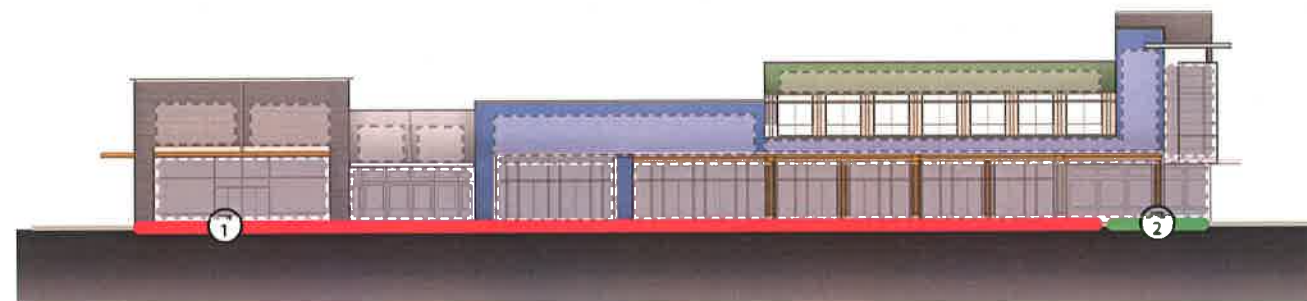
Building 11 - West Elevation
Scale: 1"=40'





Building 11 - East Elevation
Scale: 1"=40'



Building 11 - South Elevation
Scale: 1"=40'

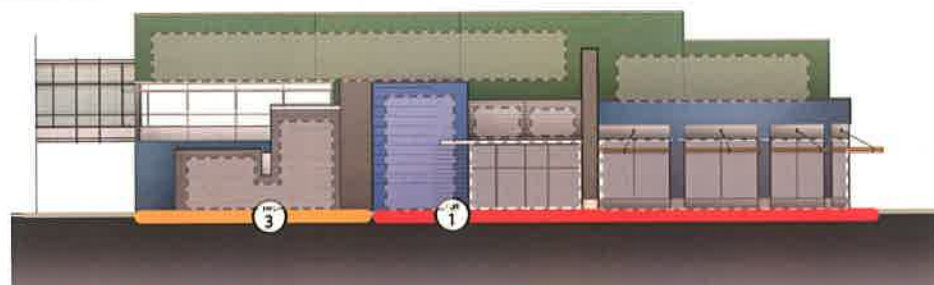


Building 11 - North Elevation
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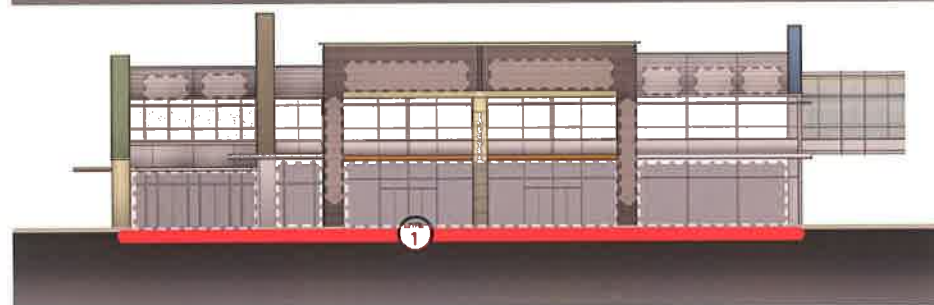
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

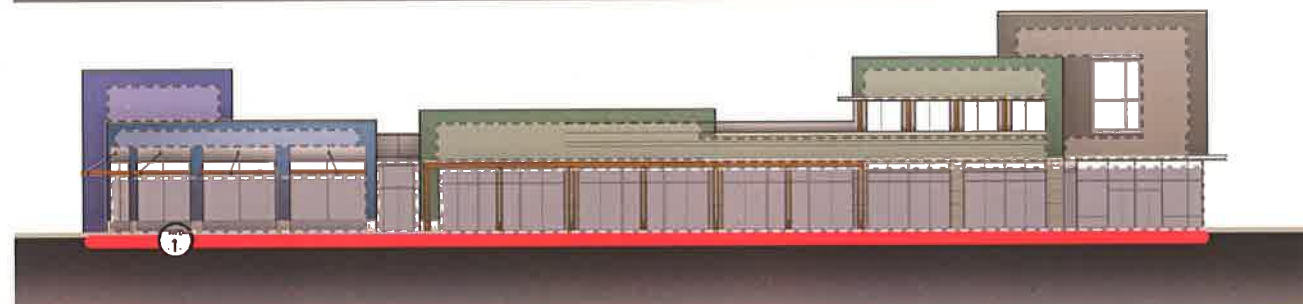
BUILDING 12



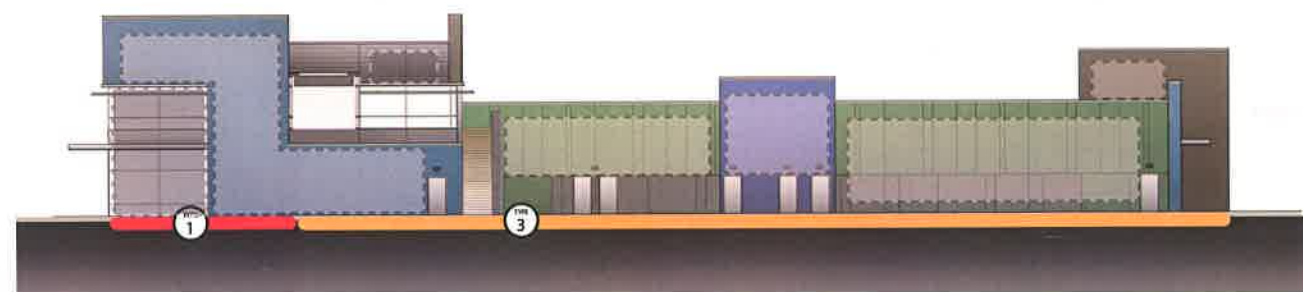
Building 12 - West Elevation
Scale: 1"=40'



Building 12 - East Elevation
Scale: 1"=40'



Building 12 - South Elevation
Scale: 1"=40'



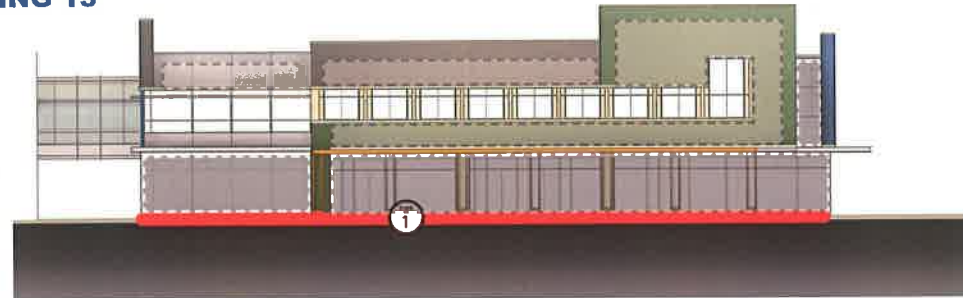
Building 12 - North Elevation
Scale: 1"=40'

 Signage zone on Tenant Storefront

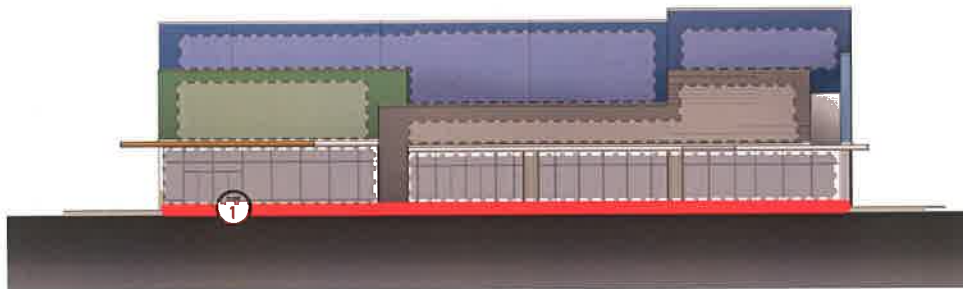
 Signage zone on Building

BUILDING ELEVATIONS

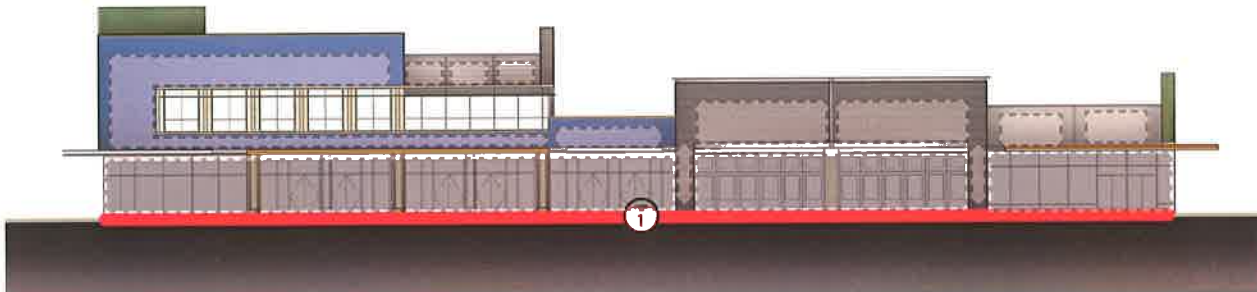
BUILDING 13



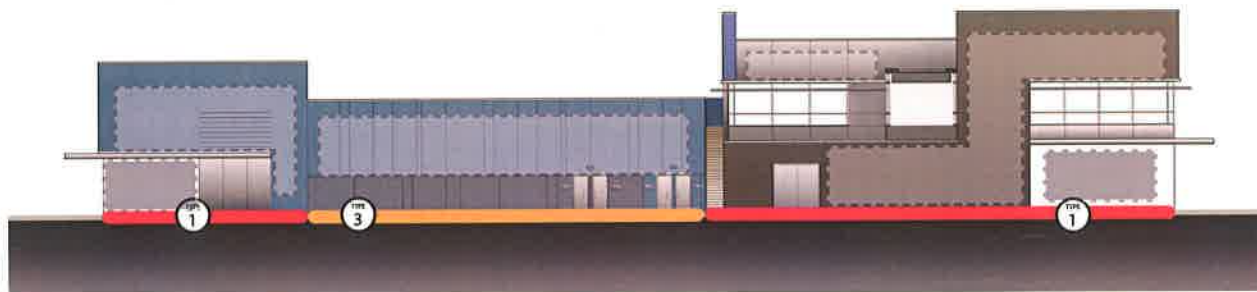
Building 13 - West Elevation
Scale: 1"=40'





Building 13 - East Elevation
Scale: 1"=40'



Building 13 - South Elevation
Scale: 1"=40'

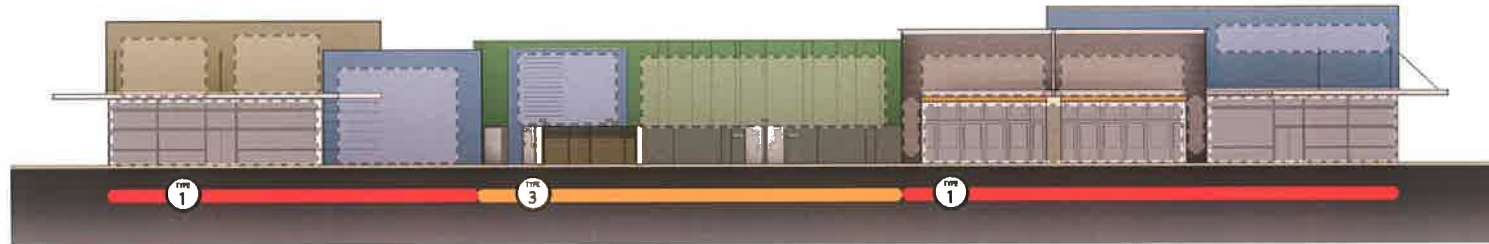


Building 13 - North Elevation
Scale: 1"=40'

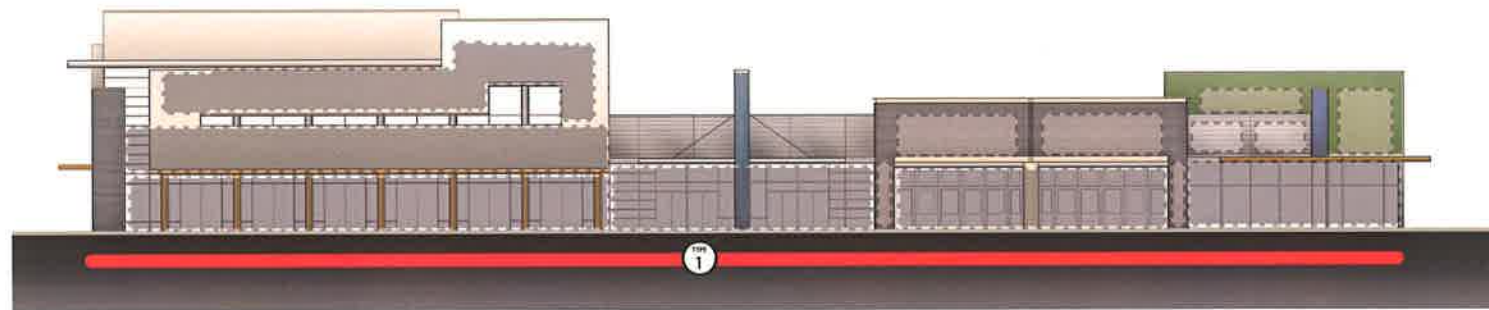
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

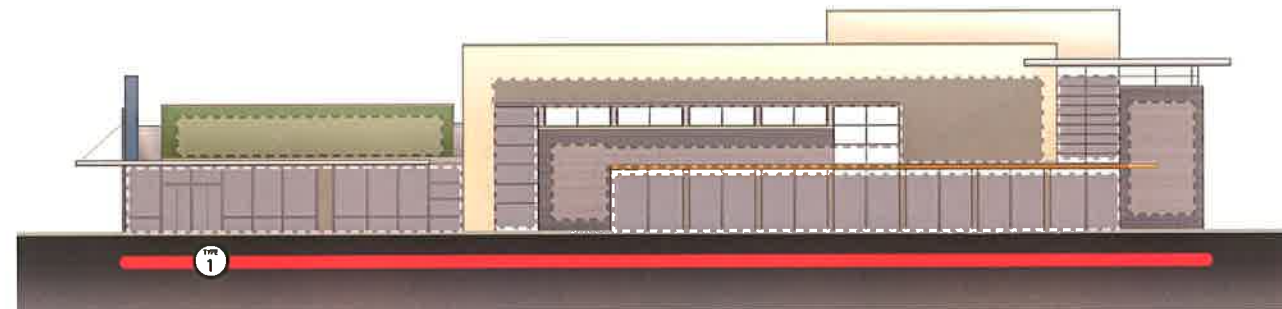
BUILDING 16



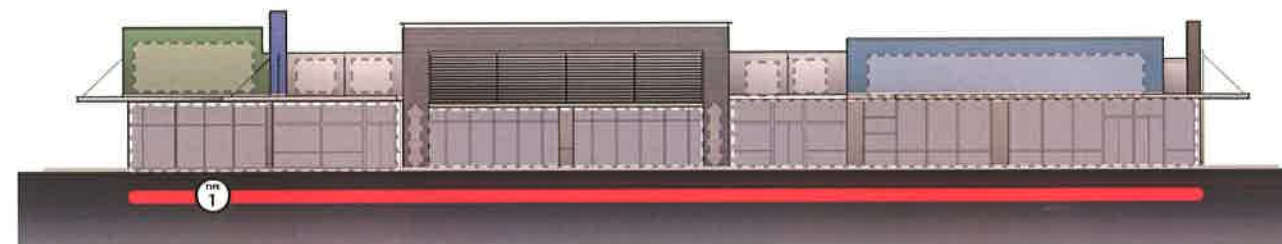
Building 16 - West Elevation
Scale: 1"=40'





Building 16 - East Elevation
Scale: 1"=40'



Building 16 - South Elevation
Scale: 1"=40'

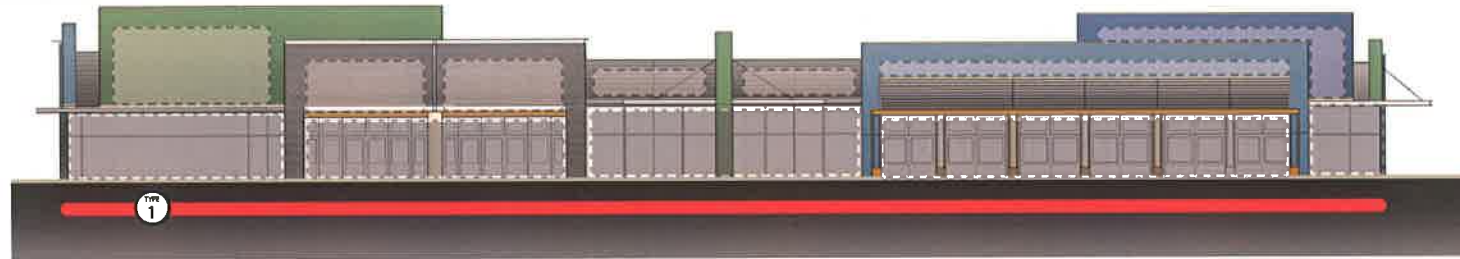


Building 16 - North Elevation
Scale: 1"=40'

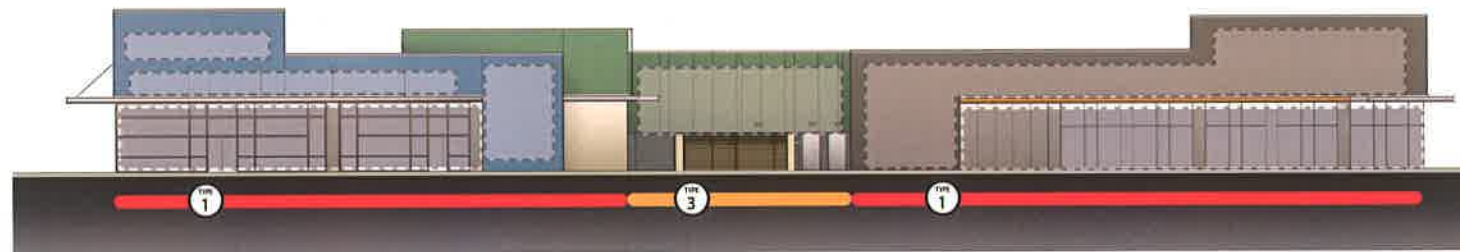
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

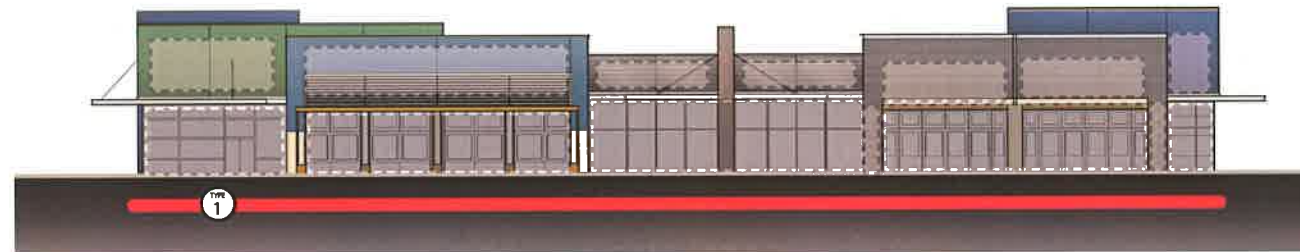
BUILDING 17



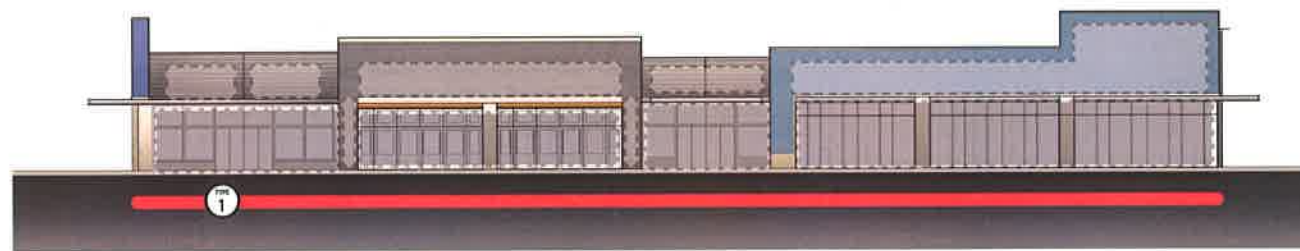
Building 17 - West Elevation
Scale: 1"=40'





Building 17 - East Elevation
Scale: 1"=40'



Building 17 - South Elevation
Scale: 1"=40'

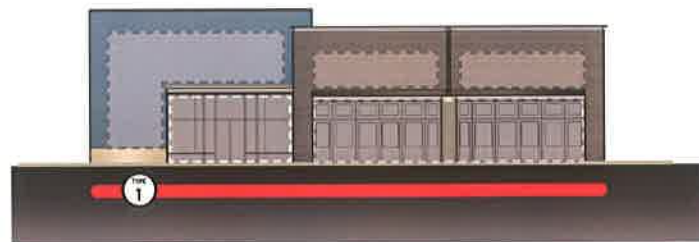


Building 17 - North Elevation
Scale: 1"=40'

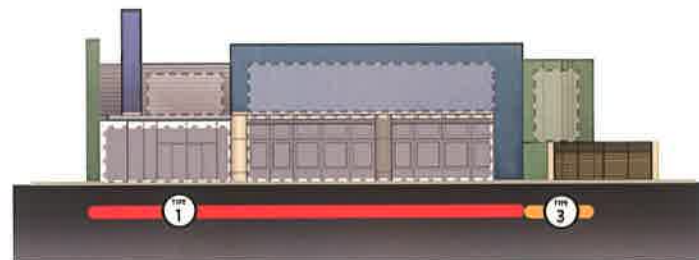
-  Signage zone on Tenant Storefront
-  Signage zone on Building

BUILDING ELEVATIONS

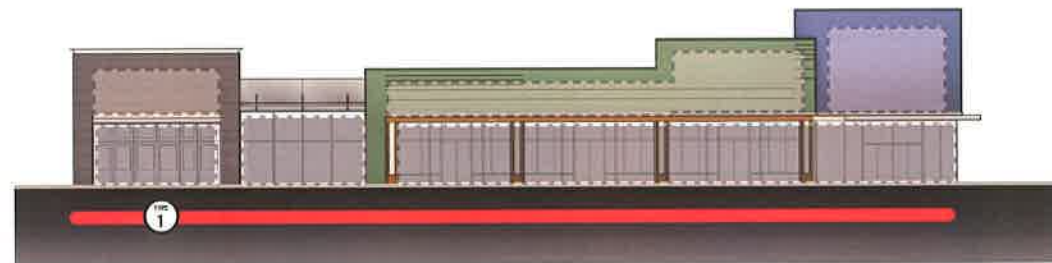
BUILDING 18



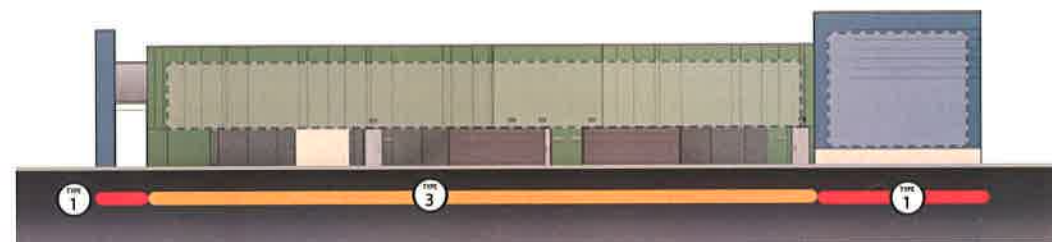
Building 18 - West Elevation
Scale: 1"=40'





Building 18 - East Elevation
Scale: 1"=40'



Building 18 - South Elevation
Scale: 1"=40'



Building 18 - North Elevation
Scale: 1"=40'

-  Signage zone on Tenant Storefront
-  Signage zone on Building



East Elevation

SCALE: 1/8" = 1'-0"



South Elevation

SCALE: 1/8" = 1'-0"



West Elevation

SCALE: 1/8" = 1'-0"

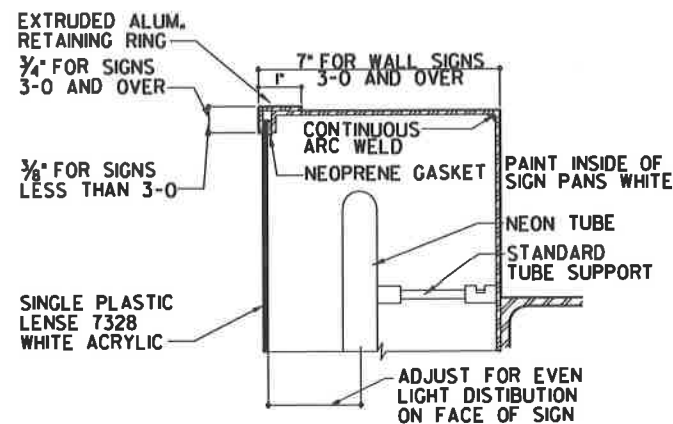


North Elevation

SCALE: 1/8" = 1'-0"

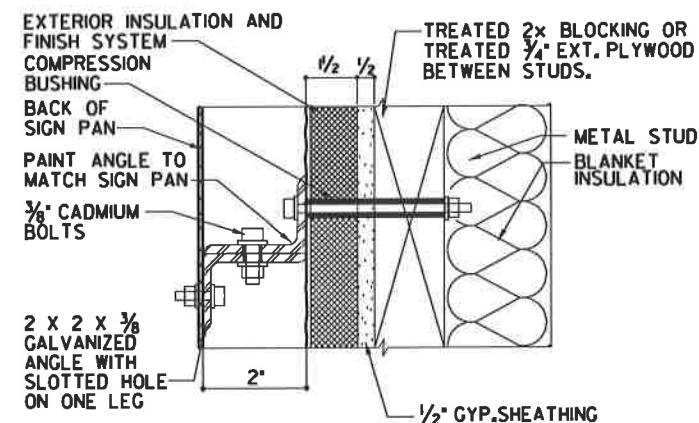
Building area - 216,000 s.f.

CCD-2007-02066



DETAIL 1 - WALL SIGN DETAIL

SCALE: HALF SIZE



DETAIL 2 - WALL SIGN DETAIL

SCALE: HALF SIZE



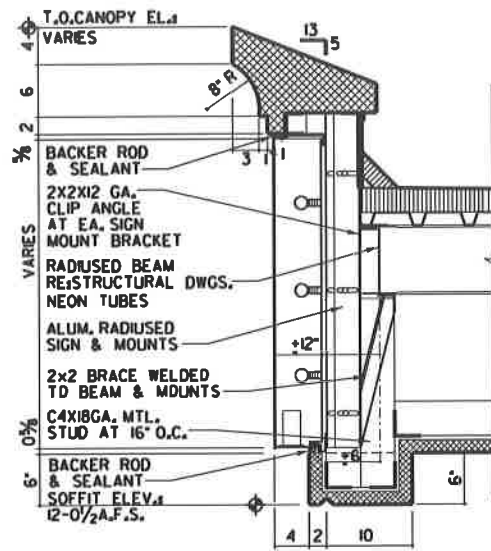
A WALL SIGN ON SOUTH, WEST, AND NORTH ELEVATIONS

SCALE: 1/4" = 1'-0"



C WALL SIGN BELOW CANOPY ON EAST ELEVATION

SCALE: 1/4" = 1'-0"



DETAIL 3 - CANOPY SIGN DETAIL

SCALE: 1 1/2" = 1'-0"



B WALL SIGN ON EAST ELEVATION

SCALE: 1/4" = 1'-0"



D CANOPY SIGN ON SOUTH, WEST, AND NORTH ELEVATIONS

SCALE: 1/4" = 1'-0"

WALL SIGN GENERAL NOTES

1. SIGN CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS, PAY ALL NECESSARY FEES AND COMPLY WITH ALL THE APPROPRIATE LOCAL CODES AND ORDINANCES THAT APPLY TO THE INSTALLATION OF THE NEW DILLARD'S SIGNS.
2. SIGN CONTRACTOR SHALL FURNISH AND INSTALL METAL SIGN PANS WITH ONE PIECE ACRYLIC FACES AS INDICATED ON THE DRAWINGS. LETTERS SHALL CONSTRUCT THE WORD "DILLARD'S" AND BE OF SIZE AS INDICATED.
3. ALL SIGN UNITS SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, AND IN PROPER PLANES WITH OTHER WORK.
4. METAL SIGN PANS SHALL BE CONSTRUCTED FROM .090 ALUMINUM AND STRUCTURED TO SUPPORT A WIND LOAD REQUIRED BY THE AUTHORITY HAVING JURISDICTION OVER THIS WORK.
5. ALL ALUMINUM SIGN PANS SHALL BE DEGREASED, ETCHED, AND PRIMED PRIOR TO PAINTING OF THE SIGN PANS WITH TWO PART ACRYLIC POLYURETHANE PAINT AS MANUFACTURED BY MATTHEWS. COLOR OF EXTERIOR SIGN PANS TO BE DARK BRONZE (41-313), INSIDE OF ALL PANS TO BE PAINTED NATURAL WHITE (42-202) TO OBTAIN MAXIMUM REFLECTANCE.
6. ALL SIGN PANS JOINTS SHALL BE HELIARC WELDED, NO POP RIVETS WILL BE ACCEPTED.
7. ANCHORAGE SHALL BE ACCOMPLISHED AS INDICATED IN DETAIL 2 OR IN A MANNER THAT IS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION OVER THIS WORK. ALL ANCHORAGE SHALL BE 2 X 2 X 3/8 GALVANIZED STEEL ANGLE CLIPS WITH ONE LEG TO HAVE A SLOTTED HOLE AS MANUFACTURED BY F & J PRODUCTS OF HOUSTON, TEXAS AND PAINTED WITH TWO PART URETHANE TO MATCH THE SIGN PANS.
8. RETAINING RING FOR ACRYLIC FACES SHALL BE CONSTRUCTED FROM EXTRUDED ALUMINUM. NO "TRIM CAP" WILL BE ALLOWED ON EXTERIOR SIGNS.
9. ALL EXTERIOR SIGNS SHALL BE INTERNALLY ILLUMINATED WITH 15mm WHITE NEON TUBING AND THE TRANSFORMERS MOUNTED INSIDE THE SIGNS AND HAVING A 30 MA HIGH POWER FACTOR AND UL. RATED.
10. THE FACE OF SIGNS 7'-0 OR LESS IN HEIGHT SHALL BE CUT FROM ONE PIECE ACRYLIC. THE THICKNESS OF THE ACRYLIC SHALL BE 3/8 INCHES WHEN A SINGLE FACE IS REQUIRED AND THE THICKNESS OF EACH PIECE OF ACRYLIC SHALL BE 1/8 INCHES WHEN A DOUBLE FACE IS REQUIRED.
11. SIGN CONTRACTOR SHALL PROVIDE FULL SIZE TEMPLATE TO GENERAL CONTRACTOR, SO THAT ANCHORAGE AND ELECTRICAL CONDUIT SLEEVES MAY BE ACCURATELY PLACED.
12. SIGN CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR ALL POINTS OF ANCHORAGE TO INSURE PROPER MOUNTING OF THE SIGN PANS TO THE STRUCTURE.
13. BEFORE MOUNTING SIGN PANS, SIGN CONTRACTOR SHALL VERIFY LOCATIONS WITH ARCHITECT.
14. SIGN CONTRACTOR SHALL VERIFY IF DISCONNECTING MEANS AT EACH SIGN LETTER IS REQUIRED BY LOCAL CODES. SIGN CONTRACTOR SHALL PROVIDE SNAP SWITCHES FOR EACH LETTER FOR DISCONNECTING MEANS WHEN REQUIRED.

CANOPY SIGN GENERAL NOTES

1. CANOPY SIGN SHALL BE RADIUS TYPE, CONSTRUCTED OF .090 ALUMINUM HELIARC WELDED CONSTRUCTION. NO POP RIVETS WILL BE ACCEPTED.
2. LETTERS "DILLARD'S" WILL BE COMPUTER ROUTED IN THE FACE BACKED BY WHITE PLEX WITH INTERIOR ILLUMINATED OF 15 MM NEON.
3. ACCESS PANEL TO BE PROVIDED AT BOTTOM OF CANOPY FOR SERVICE OF NEON AND TRANSFORMERS. TRANSFORMERS WILL BE 60 MA.
4. ALL ALUMINUM SURFACES SHALL BE CLEANED, DEGREASED, ETCHED AND PRIMED BEFORE FINAL PAINT COAT IS APPLIED. PAINT COLOR AS SELECTED BY ARCHITECT.
5. ALL CANOPIES WILL BE FABRICATED TO UL STANDARDS AND HAVE LABEL AFFIXED.
6. CANOPIES WILL BE MOUNTED TO RADIUS BEAM WITH ADJUSTABLE MOUNTING CHANNELS. WELDED TO BEAM. ALL CANOPIES WILL BE MOUNTED PLUMB, LEVEL AND SQUARE.
7. ELECTRICAL TURN OFF SWITCH TO BE MOUNTED IN CANOPY ABOVE SERVICE PANEL.
8. SIGN CONTRACTOR WILL COORDINATE WITH CONTRACTORS SUPERINTENDENT BEFORE ERECTING ENTRANCE CANOPIES.

SIGN SCHEDULE

SIGN REQUIRED	HEIGHT	LENGTH	TYPE										REMARKS	
			EXTERIOR					INTERIOR						
			NO. REQUIRED	TRANSFORMER TYPE	BROWN ACRYLIC	GREY ACRYLIC	WHITE ACRYLIC	NO. REQUIRED	TRANSFORMER TYPE	BROWN ACRYLIC	GREY ACRYLIC	WHITE ACRYLIC		
●	2-0	8-0	4	B				●						3 BACK LIGHTED CANOPY SIGNS
●	2-0	8-0	1	A				●						WALL SIGN - EAST
●	5-6	22-0	1	A				●						WALL SIGN - EAST
●	8-0	32-0	3	A				●						WALL SIGN - SOUTH - WEST - NORTH

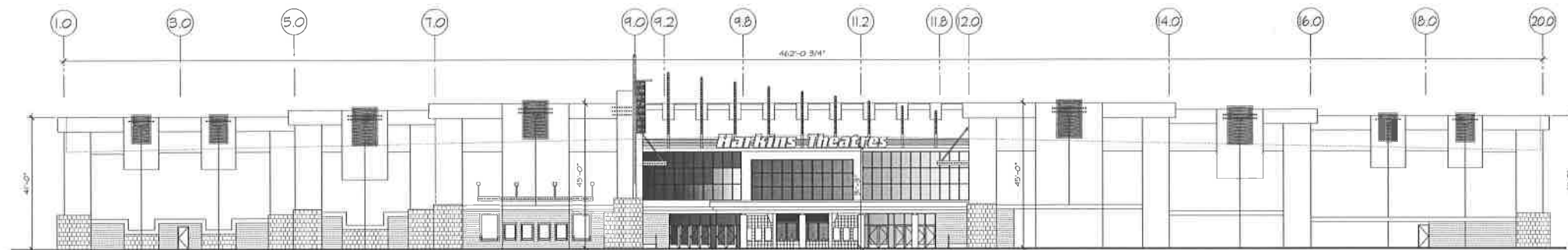
- TRANSFORMER TYPES:
 - A = FRANCE INDIVIDUAL PLASTIC LETTER TRANSFORMER
 - B = FRANCE HEAVY DUTY TRANSFORMER

Architecture+

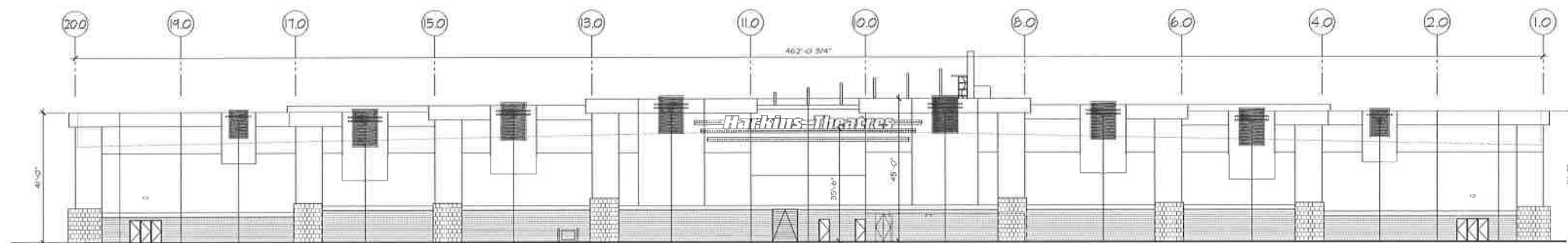
Clyde M. Webb, Architect
Washington Plaza Suite 400
Norfolk, Louisiana 70131

Dillard's
SanTan Village Regional Shopping Center
2151 South SanTan Village Parkway
Gilbert, Arizona 85296

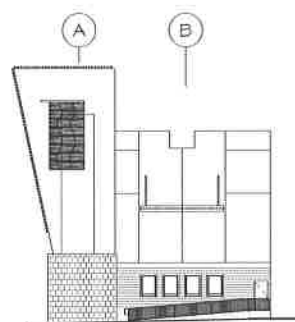
Job No.	0515
Job Code	DSVG
Store No.	XXX
Date	FEBRUARY 2006
Revisions	
No.	
Date	
Sheet	
Drawn by	R. Miller
Checked by	
A501	



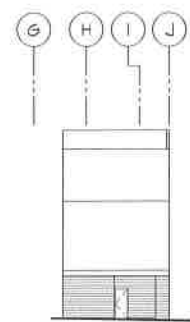
FRONT ELEVATION (WEST)
SCALE: 1/16" = 1'-0"



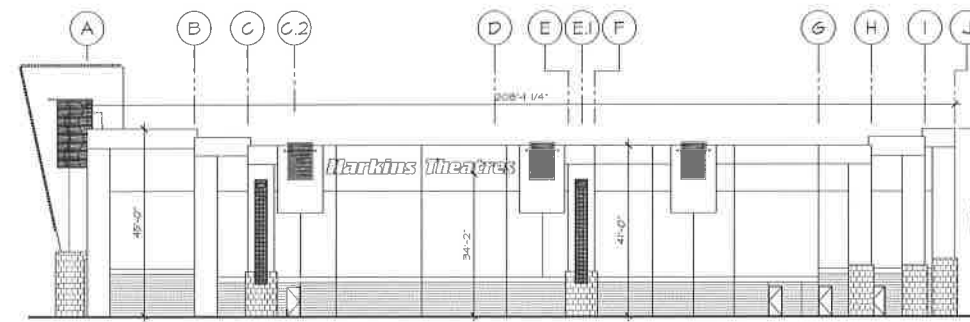
REAR ELEVATION (EAST)
SCALE: 1/16" = 1'-0"



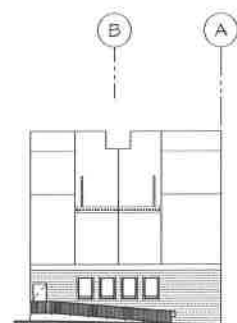
PLAZA ELEVATION (WEST)
SCALE: 1/16" = 1'-0"



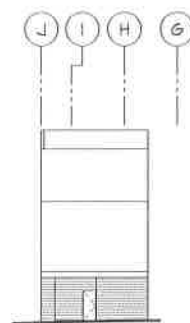
DOCK ELEVATION (WEST)
SCALE: 1/16" = 1'-0"



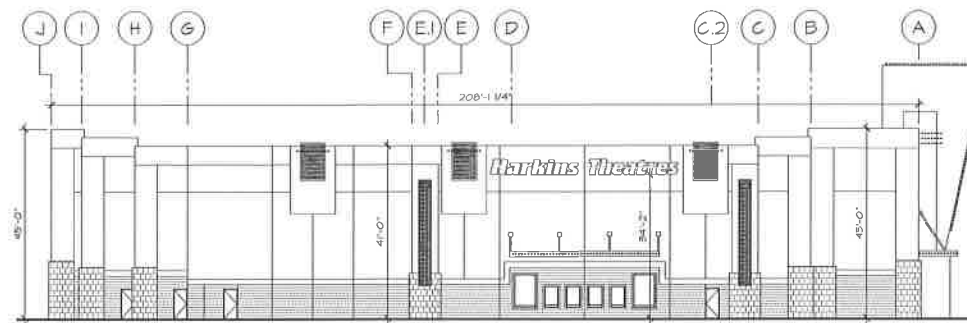
SIDE ELEVATION (SOUTH)
SCALE: 1/16" = 1'-0"



PLAZA ELEVATION (EAST)
SCALE: 1/16" = 1'-0"



DOCK ELEVATION (EAST)
SCALE: 1/16" = 1'-0"



SIDE ELEVATION (NORTH)
SCALE: 1/16" = 1'-0"



10221 W. 10th Ave.
Suite 200
West Valley City, UT 84115
801.371.4100
801.371.4002
www.level4studio.com

Harkins Theatres

SANTAN VILLAGE 14-PIEX THEATRE
GILBERT, ARIZONA

HARKINS THEATRES 7511 E. McDONALD DRIVE - SCOTTSDALE, ARIZONA 85250

05.17.06

EXTERIOR ELEVATIONS			
Scale: 1/16" = 1'-0"	NP/TW	NP/TW	NP/TW
design	drawn	check	
15.07.06, 15.07.06, 15.07.06, 15.07.06			

Sheet	A 301
of	05001
job	

Harkins Theatres

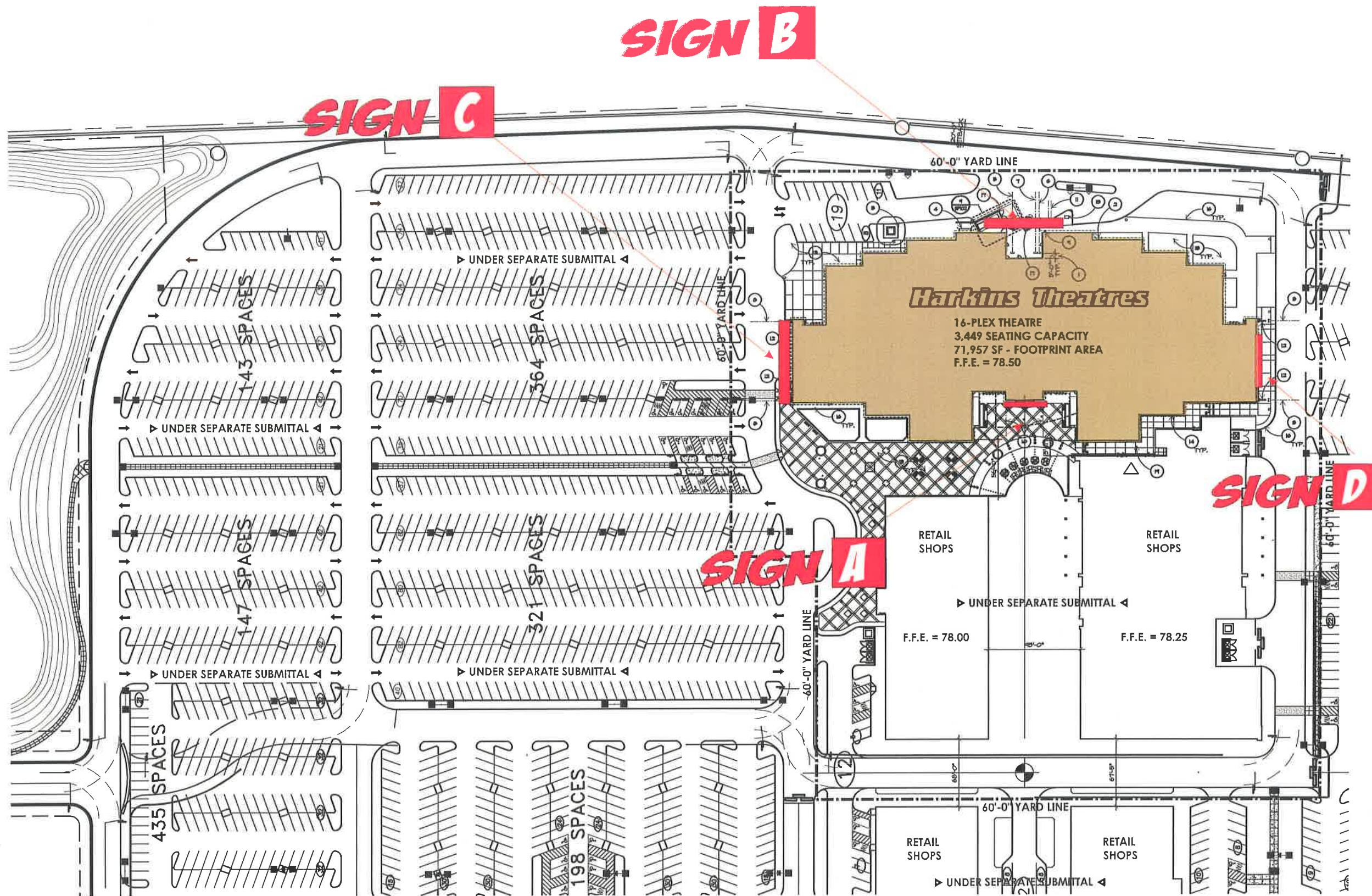
**SAN TAN - ARIZONA
5/30/06**

Prepared By



10027 North 12th Street
Phoenix, Arizona 85020
602-279-9268

CONTRACTOR LIC #187369



ISC
Identity Sign
Group Inc.

10027 N. 12TH STREET
PHOENIX, AZ 85020
T: 602-279-9268 C: 602-751-0708
F: 602-266-1289

Sales: S. Mehlhoff Scott@identitysign.net
Design: Jason Junge

File Drawing: SanTan Harkins

5/1/06

Revisions:

Harkins Theatres

ISC approval

Harkins Theatres

MEMBER OF
ISA
INTERNATIONAL SIGN ASSOCIATION

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5/1/06

Revisions:

Markins Theatres

ISG approval

Markins Theatres

SIGN A

61'

5'

Harkins Theatres

SIGN B

53.8'

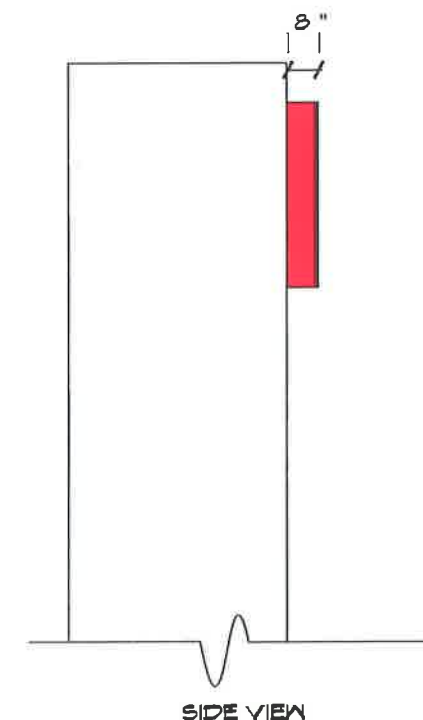
52"

Harkins Theatres

277volt Standard	
Circuits Req.	
Amps	20
120volt Option	
Circuits Req.	
Amps	20

ONE (1) SET OF INDIVIDUAL CHANEL LETTERS FLUSH MOUNTED.
211-1 RED PLEX FACES W/ 1" RED TRIM CAP
INTERNALLY ILLUMINATED W/ GE GELCOR L.E.D. SYSTEM.
PRE-PAINTED ALUMINUM RED 8" DEEP RETURNS.
U.L. LABELED.

*NOTE: WILL NEED A STEP DOWN TRANSFORMER,
277 VOLT TO 120 VOLT. FOR LED.



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File Drawing: SanTan Harkins

5/11/06

Revisions:

Harkins Theatres

ISC approval

Harkins Theatres



SIGN **C**

4'

49'

Harkins Theatres

SIGN **D**

4'

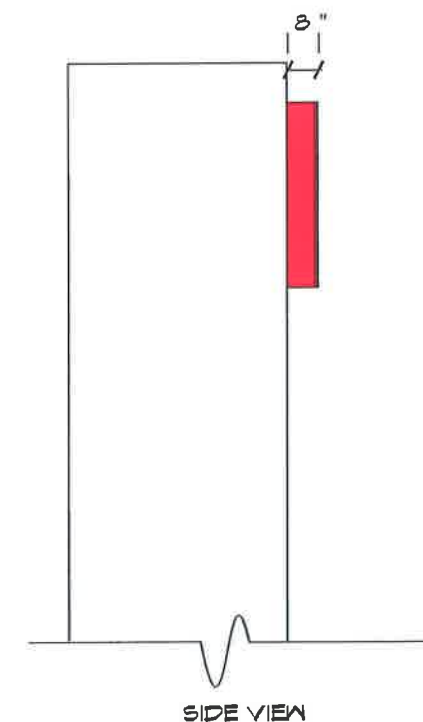
49'

Harkins Theatres

277volt Standard	
Circuits Req.	
Amps	20
120volt Option	
Circuits Req.	
Amps	20

ONE (1) SET OF INDIVIDUAL CHANEL LETTERS FLUSH MOUNTED.
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5/11/06

Revisions:

Harkins Theatres

ISC approval

Harkins Theatres

MEMBER OF
ISA
INTERNATIONAL SIGN ASSOCIATION

SANTAN VILLAGE



MASTER SIGN PLAN - FREE STANDING SIGNAGE

*September 21, 2006

westcor

omniplan

SANTAN VILLAGE

S I G N A G E & G R A P H I C S

ORIGINAL ISSUE:	21 June, 2006
REVISED:	
△	30 September, 2006

Design Intent

100% Signage & Graphics

SanTan Village
Gilbert, Arizona

Westcor
11411 North Tatum Blvd
Phoenix, Arizona 85028-2399

Communication Arts, Incorporated
1112 Pearl Street | Boulder, CO 80302
TEL 303.447.8202 | FAX 303.440.7096
www.commarts-boulder.com

@ commarts

PROJECT SIGNAGE QUANTITIES & SUBMITTALS

Page No.	Description	Sign Quantity	Additional Information / Submittals Required
(CHAPTER 1) - EXTERIOR SIGNAGE			
1.1.1	Sign Type 1.1 - Pylon Sign	1	
1.2.1	Sign Type 1.2 - Project Identity Sign	7	
1.3.1	Sign Type 1.3 - Secondary Project Identity Sign	X	DELETED
1.4.1	Sign Type 1.4 - Vehicular Directional Signage	3	
1.5.1	Sign Type 1.5 - Directional Pylon	1	
1.6.1	Sign Type 1.6 - Advertising Identity	5	
1.7.1	Sign Type 1.7 - Future Tenant Identification Sign	TBD	
(CHAPTER 2) - INTERIOR SIGNAGE			
2.1.1	Sign Type 2.1 - Directory	8	
2.2.1	Sign Type 2.2 - Intersection Icon - Street Signs	20	
2.3.1	Sign Type 2.3 - Pole Mounted Street Signs	8	
2.4.1	Sign Type 2.4 - Breeseway IDs	X	DELETED
2.5.1	Sign Type 2.5 - Suspended Public Info Directional	6	
2.6.1	Sign Type 2.6 - Wall Mounted Plaques	14	

Design Intent
100% Design Intent Set



SanTan Village
PROJECT

Westcor
OWNER

JD 2450
TEAM JOB NO.

- GENERAL NOTES:
- Submittals required as per the Quantities & Submittals section of this document.
 - These drawings express visual design intent only. Final engineering, materials, and fabrication shall remain the responsibility of the fabricator.
 - All content of this document is subject to the design intent requirements outlined elsewhere in the document. Refer to the Fabricator Performance & Material Requirements, Quantities & Submittals, Materials & Finishes, and Fonts & Symbols sections of this document for further details.

ORIGINAL ISSUE: 22 June, 2006	
REVISIONS:	
△	30 Sept, 2006 - DRB

Quantities &
Submittals

PAINT & FINISHES

All paints and finishes shall match exactly the color, finish, and texture as noted.

P-1
ICI 1250
Resilient Sea

P-2
ICI 1396
Hailgate Home

P-3
ICI 1556
Beyond Blue

P-4
Ben Moore
2117 40
Tropical Dust

P-5
ICI 1652
Velvet Night

P-6
ICI 2
Grape Hyacinth

P-7
ICI 1486
Signature Blue

P-8
ICI XXX
to match C 1

P-9
ICI XXX
to match C 2

Slipcast Metal texture

P-10
ICI 5
Grape Arbor

P-11
ICI 1403
Pococo Blue

P-12
ICI XXX
XXXX

P-13
ICI XXX
XXXX

P-14
MP 18100
Silver Star

P-15
MP 18151

P-XX
ICI XXX
XXXXXXXXXX

P-17
ICI 508
Cavalry Brown

P-18
ICI XXX
XXXXXXXXXX

P-19
ICI XXX
XXXXXXXXXX

P-20
ICI XXX
XXXXXXXXXX

P-20
ICI 1596
Boysenberry

P-21
ICI 1582
Violet Iris

P-22
ICI 1495
Blue Angels

P-23
ICI 1591
Pastelskies Blue

P-24
ICI 1651
Ironweed

P-25
ICI 1664
Kashmir

P-26
ICI 1181
Moorish Green

P-27
ICI 1210
Belle Glade

NOTE: ALL COLORS TO BE SATIN FINISH UNLESS OTHERWISE NOTED

VINYL COLORS

All vinyl sheeting shall match exactly the color, finish, and durability of the manufacturer printed on vinyl.

V-1
3M 2290
Reflective
White

V-2
3M 7725-20
Matte
White

Concrete Colors

All paints and finishes shall match exactly the color, finish, and texture as noted.

C-1
Superfite Block
Terra Brown

C-2
Davis Concrete
Integral Color
San Diego Duff

C-3
Davis Concrete
Integral Color
San Diego Buff

ACRYLIC

A-1
Acrylic 0917 B
FF Crystal Ice

@commarts

Communication Arts, Incorporated
1112 Pearl Street Boulder, CO 80302
TEL 303.447.8102 FAX 303.440.7096
www.commarts-boulder.com

Design Intent
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Santan Village	
PROJECT	
Westcor	
OWNER	
JD	2450
TEAM	JOB NO.

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ORIGINAL ISSUE:	22 June, 2006
REVISIONS:	
△	30 Sept, 2006 - DRB


Materials &
Finishes/
Fonts & Symbols

0.3.1

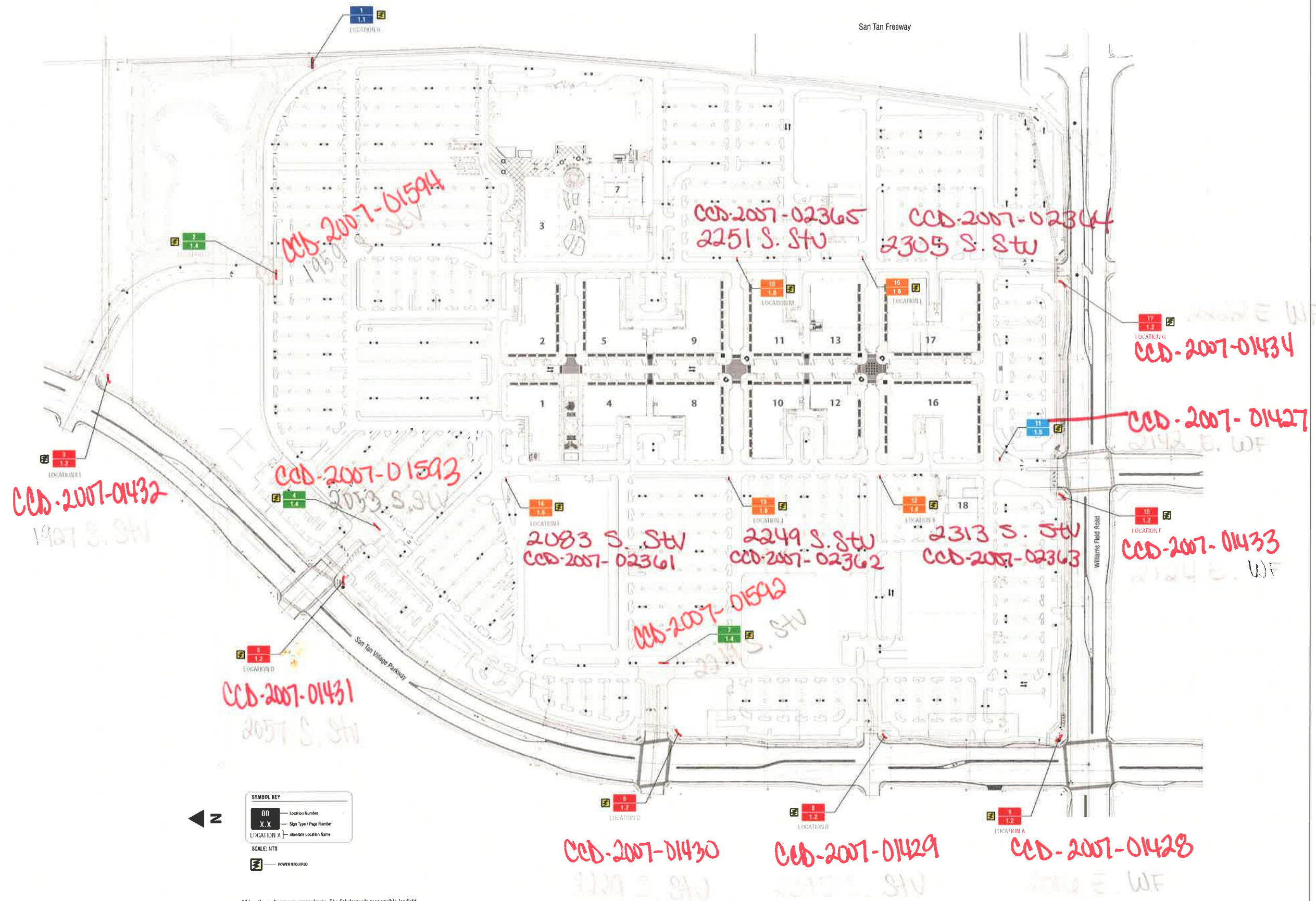
All ideas, designs, arrangements, and plans indicated or presented by these drawings are the property of the Owner, and were created for use in connection with the specified project.

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ORIGINAL ISSUE	22 June, 2006
REVISIONS	
	30 Sept, 2006 - DRB

Exterior Location Plan Diagram



All locations shown are approximate. The Fabricator is responsible for field verification and coordination of all final locations. The Fabricator shall notify the Owner and CommArts of any discrepancies between CommArts' drawings, location plans, or message schedule, and field conditions prior to installation.

Design Intent

100% Design Intent Set



SanTen Village

PROJECT

Westcor

OWNER

JD

2450

TEAM

JOB NO

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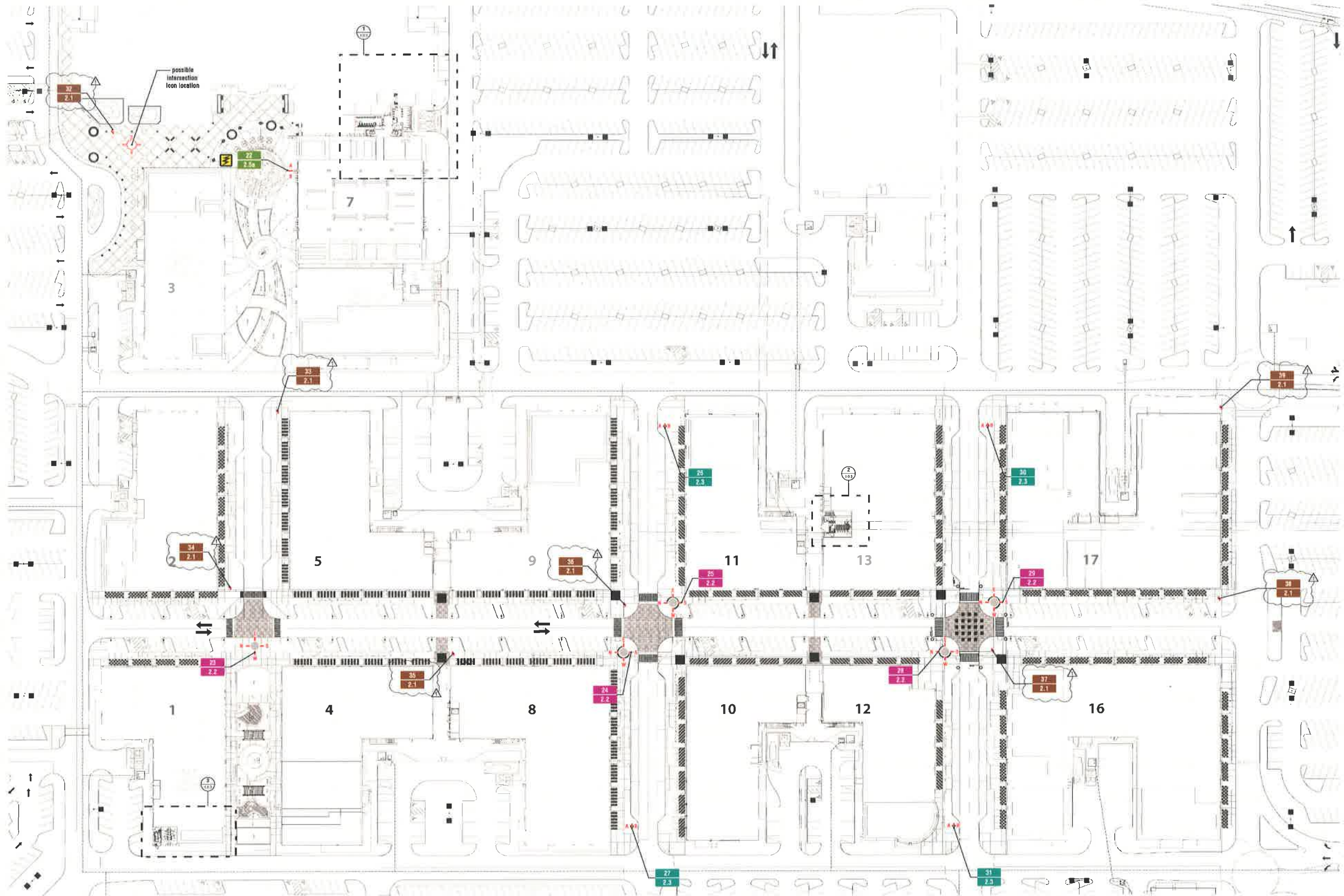
ORIGINAL ISSUE 22 June, 2006

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Interior
Location Plan
Diagram

GR 1.0.2

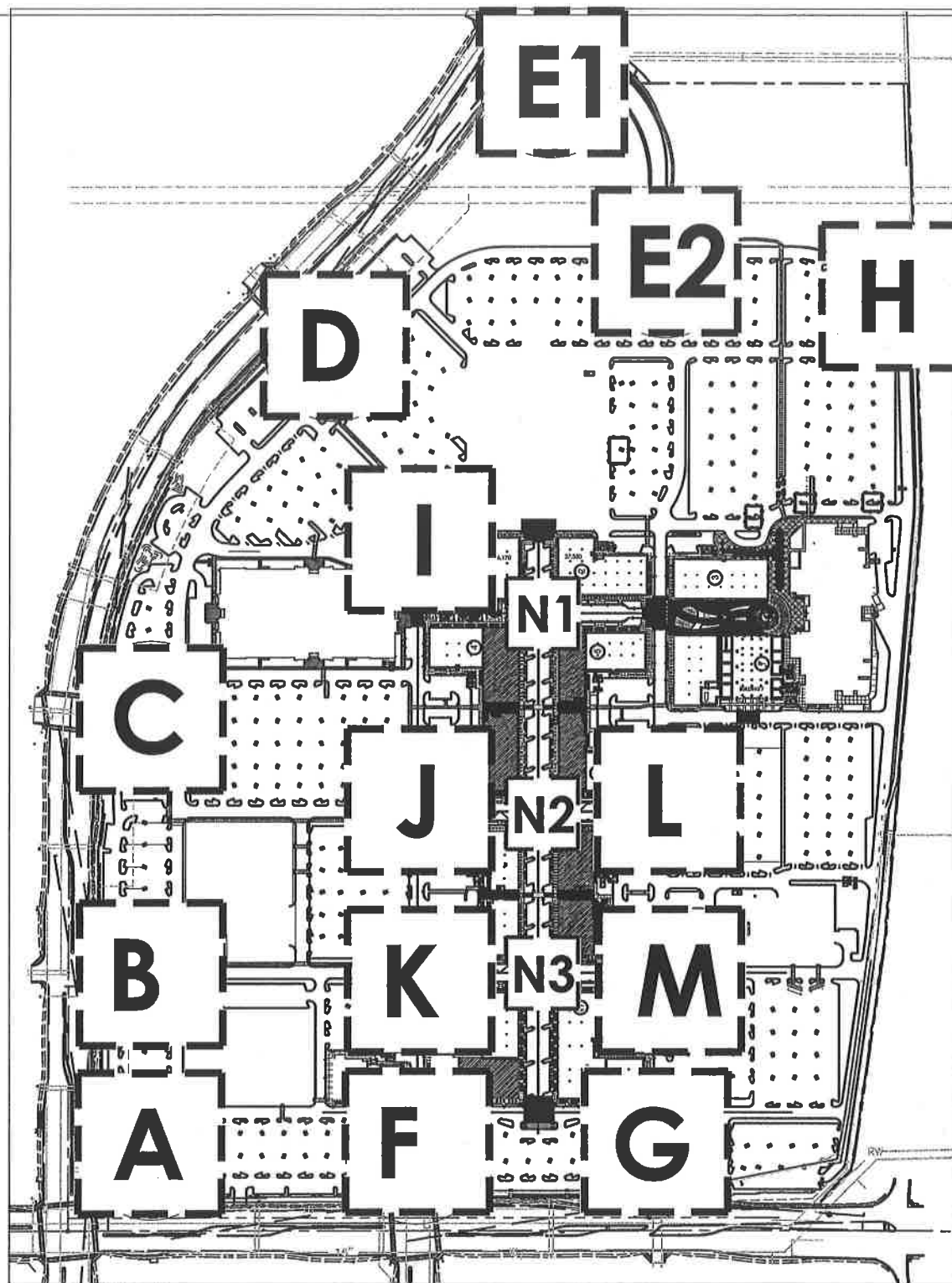


SCALE: 1/8" = 1'-0"

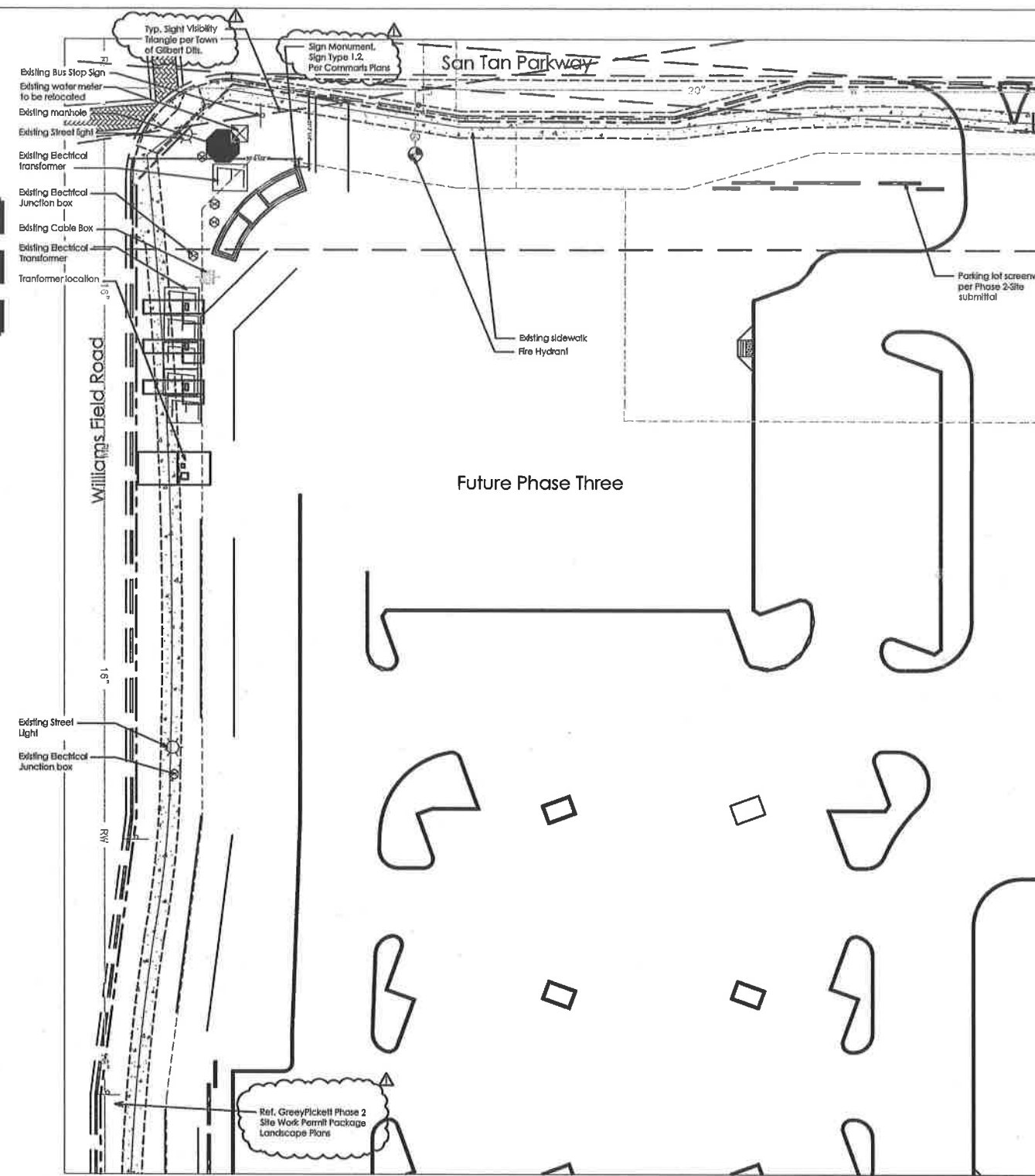
SYMBOL KEY

00	Location Number
X.X	Sign Type / Page Number
	POWER REQUIRED

All locations shown are approximate. The Fabricator is responsible for field verification and coordination of all listed locations. The Fabricator shall notify the Owner and CommArts of any discrepancies between CommArts' drawings, location plans, or message schedule, and field conditions prior to installation.



0 **Key Map**
Scale: N.T.S.



1 **Main Entry A**
Scale: 1" = 20'-0"

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GREEY|PICKETT

SanTan Village
PROJECT NAME

Westcor
CLIENT NAME

JD 2450
TEAM JOB NUMBER

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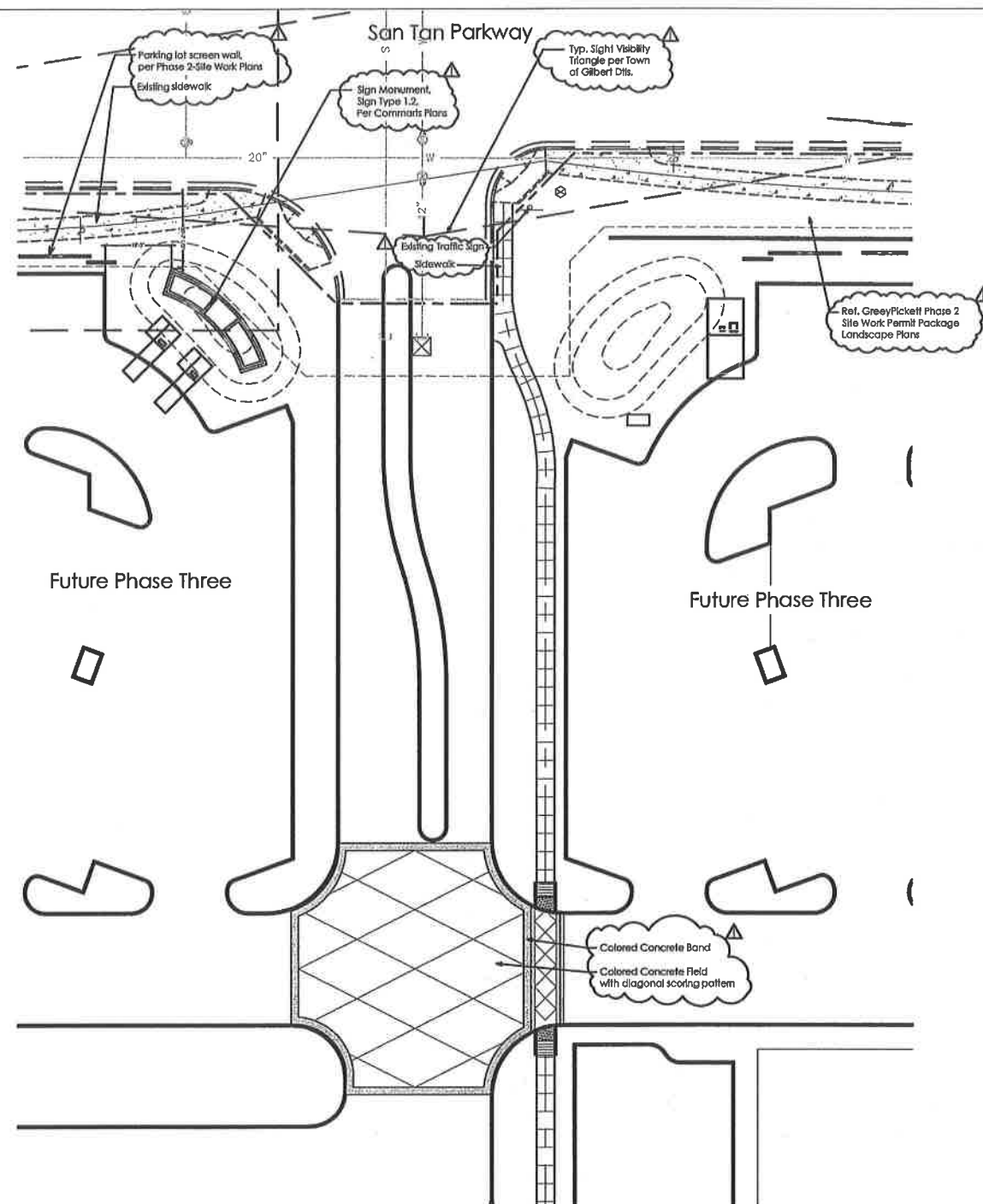
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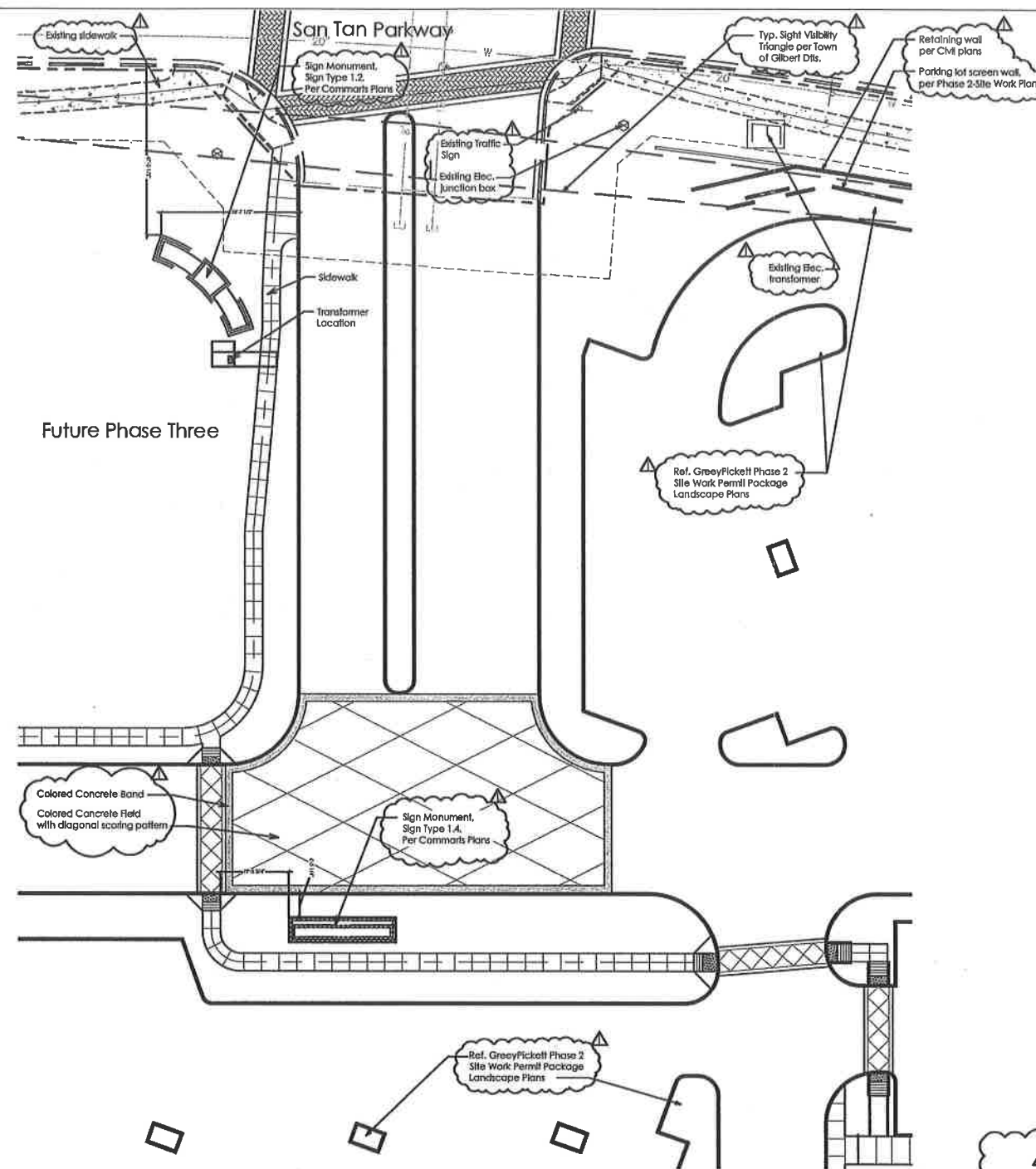
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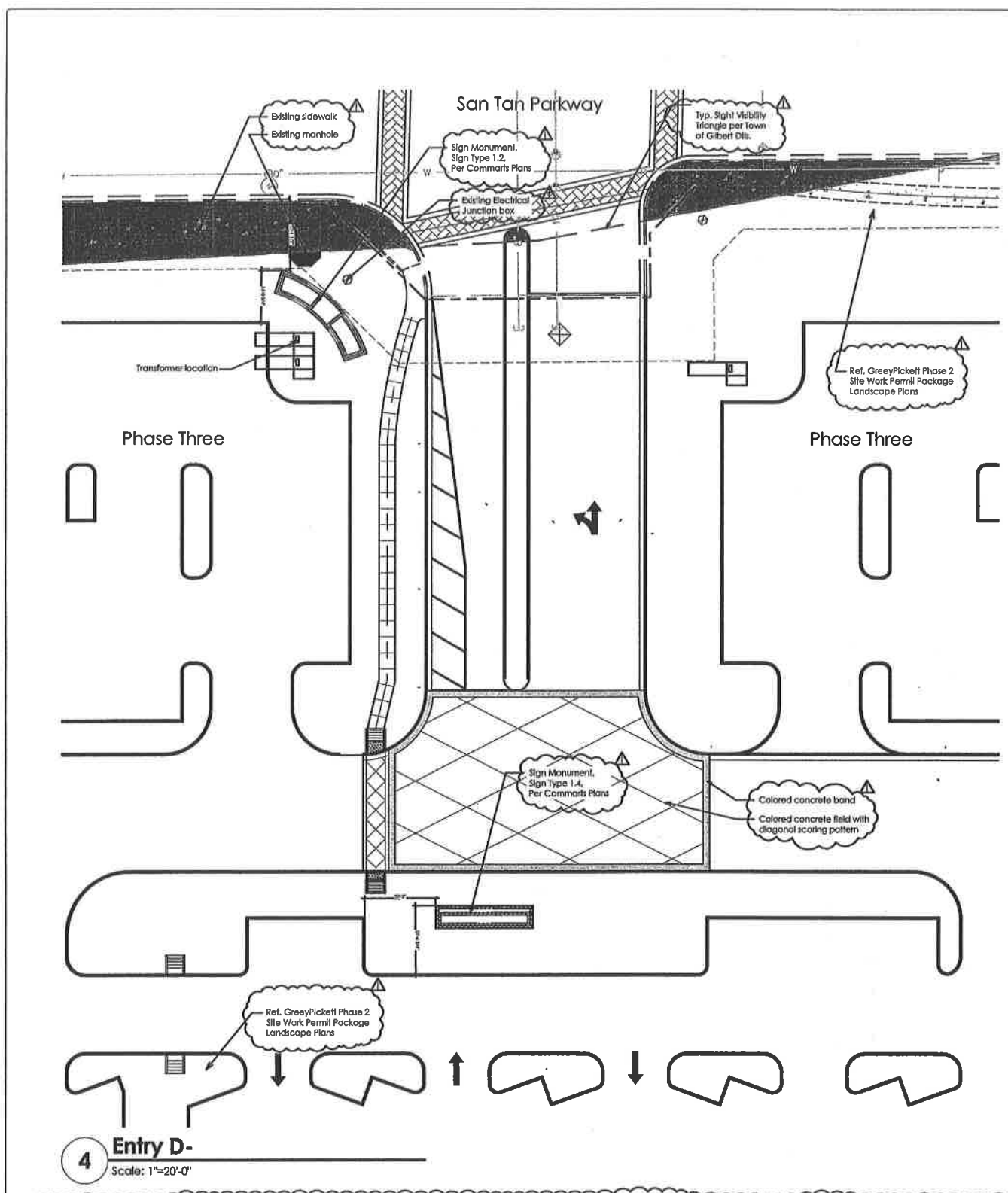


2 Entry B-
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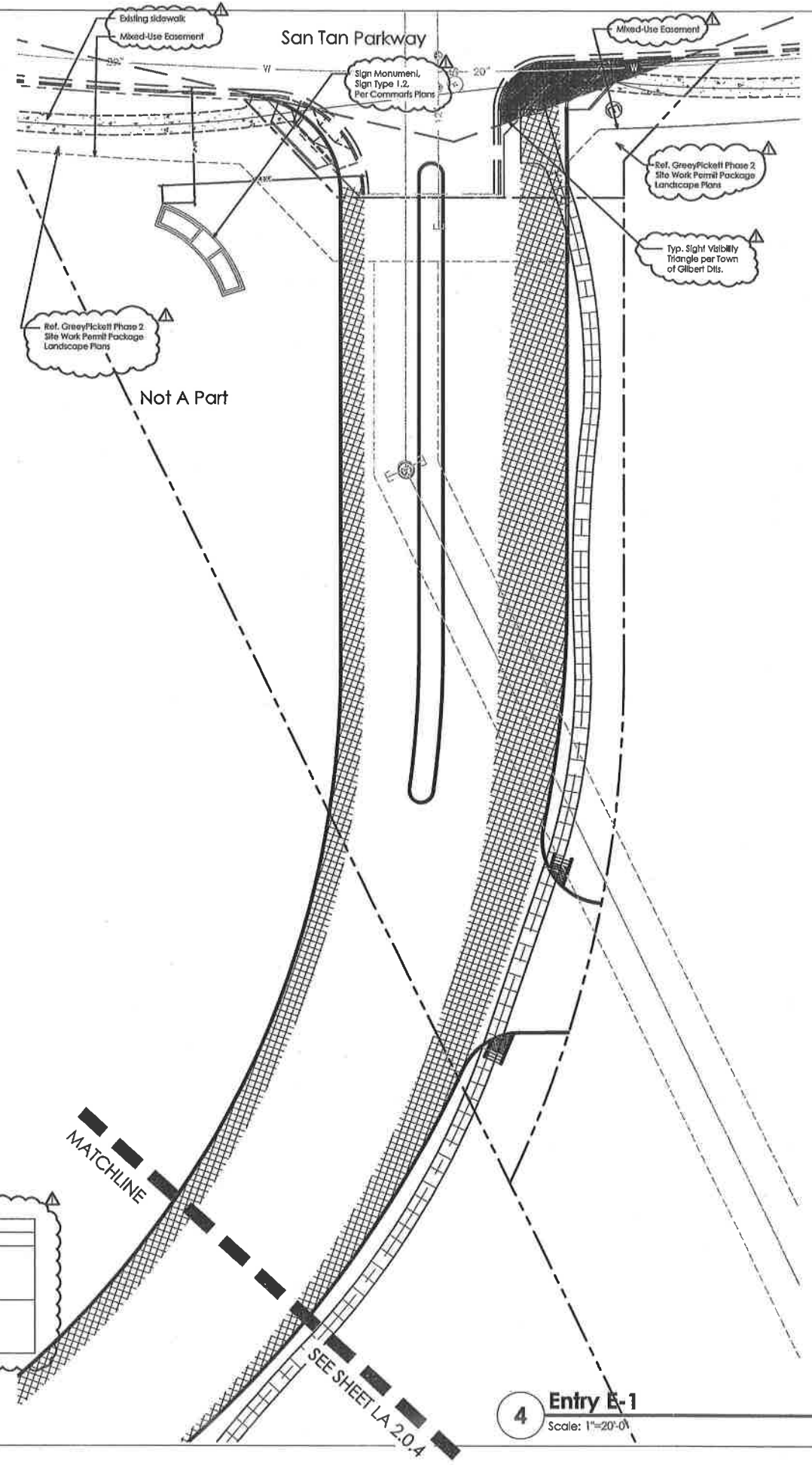


3 Entry C
Scale: 1"=20'-0"

KEY	DESCRIPTION	SUPPLIER	MODEL/TYPE	COLOR/ FINISH	COMMENTS
6	CONCRETE INTERSECTION PAVING	SCOFIELD CONCRETE PRODUCTS LARRY BOWER	INTEGRAL COLORED	C-14 FRENCH GRAY SALT BROADCASTED FINISH	- SEE DETAIL 8, SHEET L5.2 - 1/2" EXPANSION JOINTS - 1/4"R TOOLED CONTROL JOINTS
7	CONCRETE INTERSECTION BANDING	SCOFIELD CONCRETE PRODUCTS LARRY BOWER	INTEGRAL COLORED	4959 SMOKEY PLUM SMOOTH TROWEL FINISH	- SEE DETAIL 7, SHEET L5.2 - 1/2" EXPANSION JOINTS - 1/4"R TOOLED CONTROL JOINTS



KEY	DESCRIPTION	SUPPLIER	MODEL/TYPE	COLOR/ FINISH	COMMENTS
6	CONCRETE INTERSECTION PAVING	SCOFIELD CONCRETE PRODUCTS LARRY BOWER	INTEGRAL COLORED	C-14 FRENCH GRAY SALT BROADCASTED FINISH	- SEE DETAIL 8, SHEET L5.2 - 1/2" EXPANSION JOINTS - 1/4"R TOOLED CONTROL JOINTS
7	CONCRETE INTERSECTION BANDING	SCOFIELD CONCRETE PRODUCTS LARRY BOWER	INTEGRAL COLORED	4959 SMOKEY PLUM SMOOTH TROWEL FINISH	- SEE DETAIL 7, SHEET L5.2 - 1/2" EXPANSION JOINTS - 1/4"R TOOLED CONTROL JOINTS



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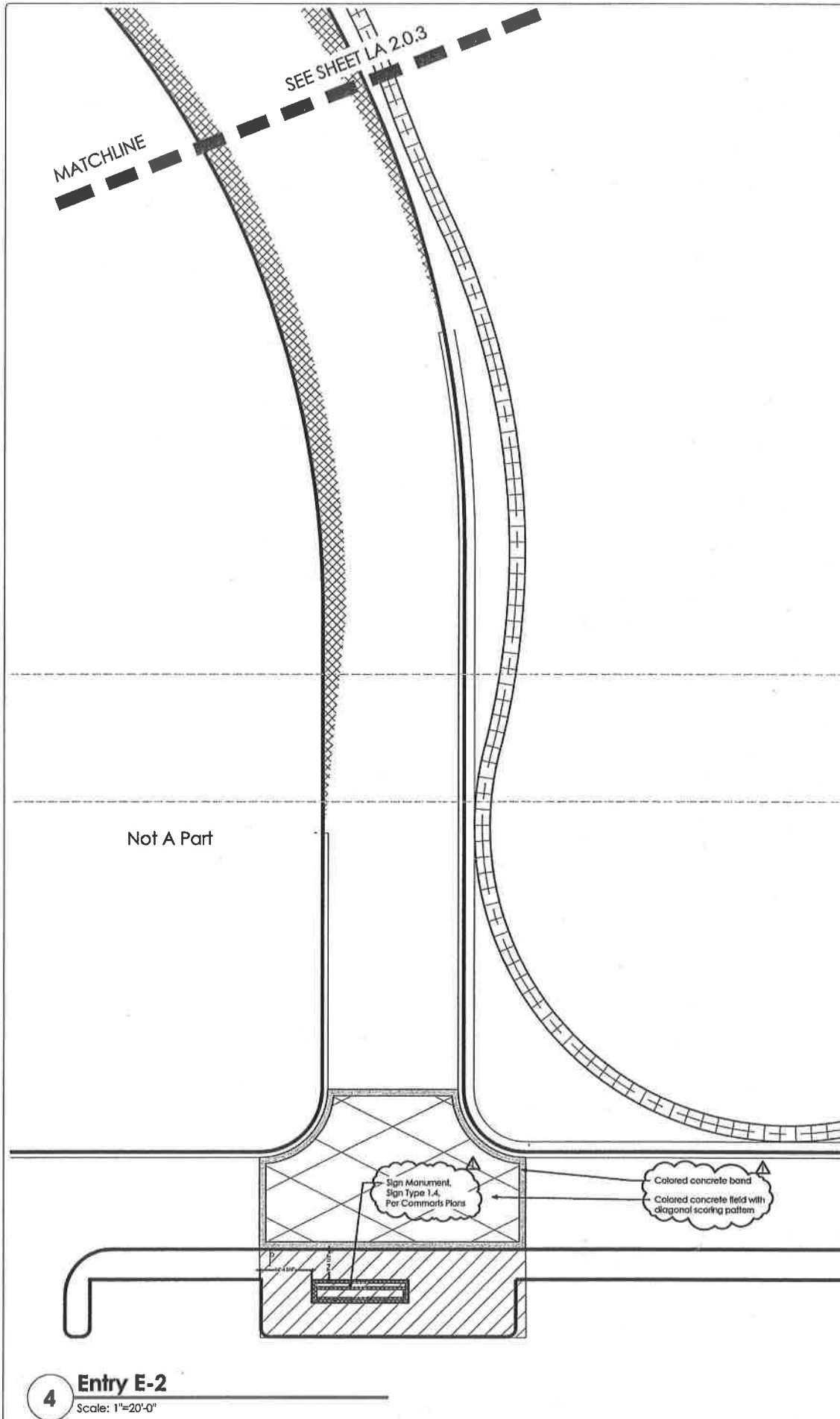
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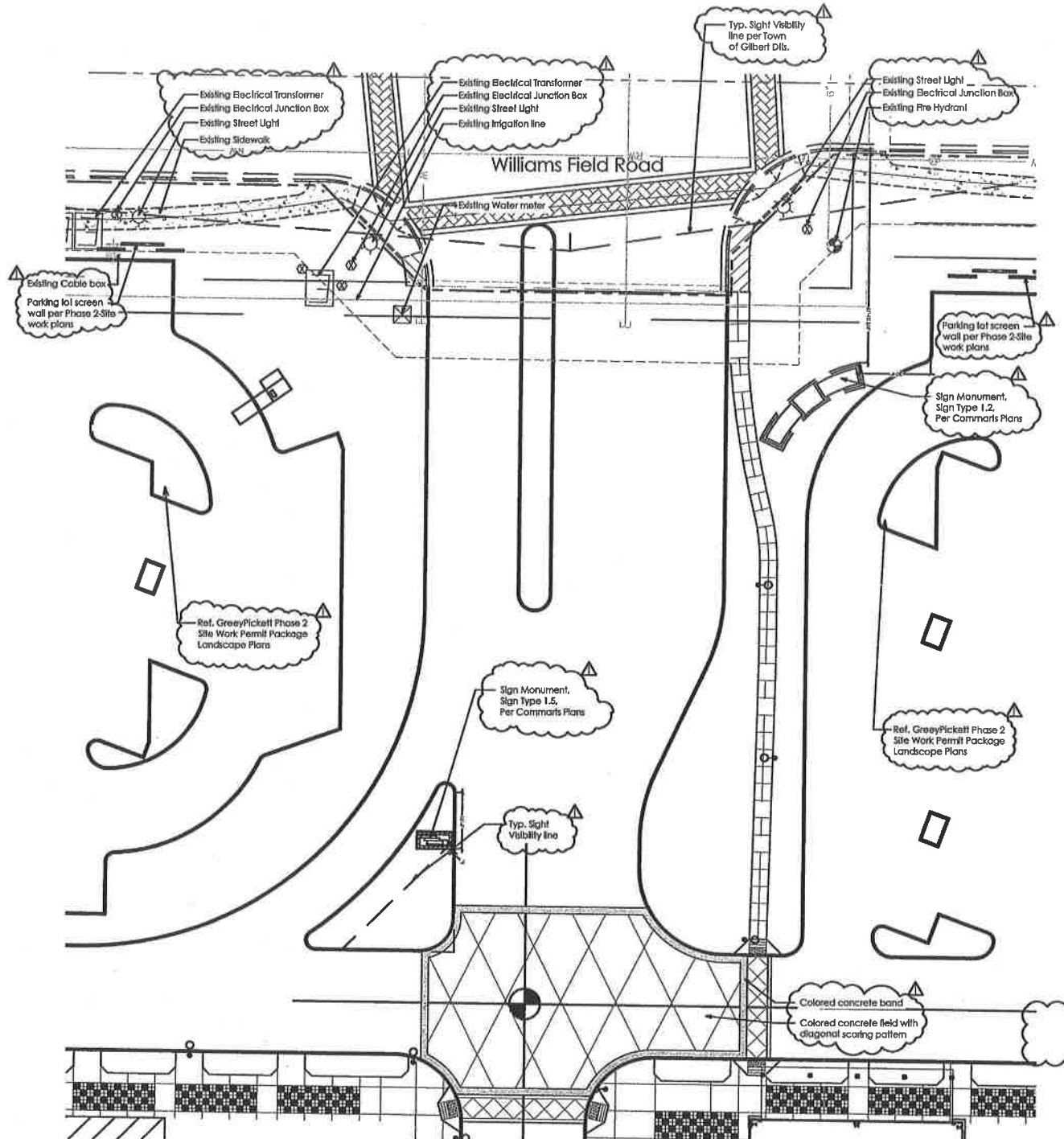
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4 Entry E-2
Scale: 1"=20'-0"



5 Entry F
Scale: 1"=20'-0"

KEY	DESCRIPTION	SUPPLIER	MODEL/TYPE	COLOR/ FINISH	COMMENTS
6	CONCRETE INTERSECTION PAVING	SCOFIELD CONCRETE PRODUCTS LARRY BOWER	INTEGRAL COLORED	C-14 FRENCH GRAY SALT BROADCASTED FINISH	- SEE DETAIL 8, SHEET L5.2 - 1/2" EXPANSION JOINTS - 1/4"R TOOLED CONTROL JOINTS
7	CONCRETE INTERSECTION BANDING	SCOFIELD CONCRETE PRODUCTS LARRY BOWER	INTEGRAL COLORED	4959 SMOKEY PLUM SMOOTH TROWEL FINISH	- SEE-DETAIL 7, SHEET L5.2 - 1/2" EXPANSION JOINTS - 1/4"R TOOLED CONTROL JOINTS

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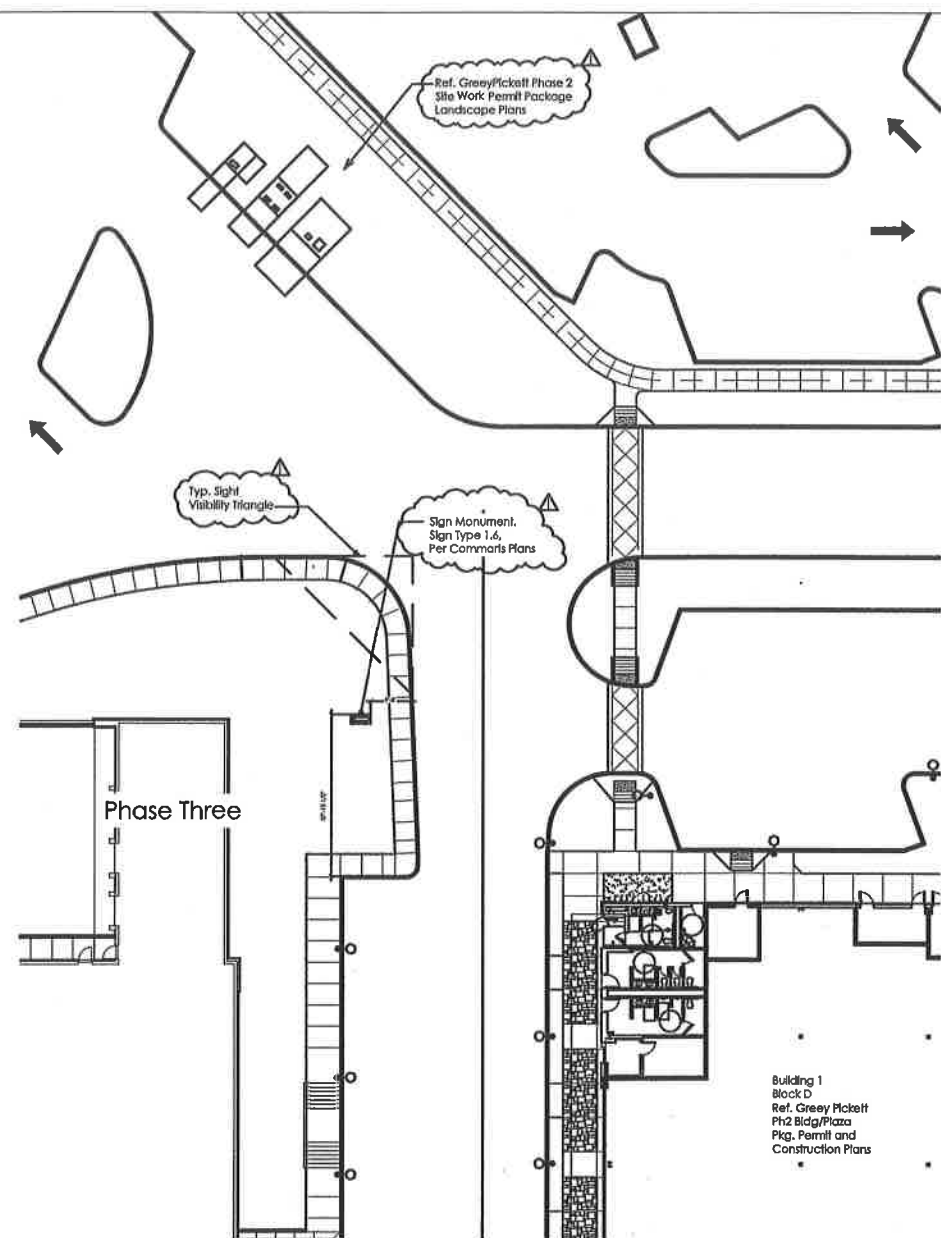
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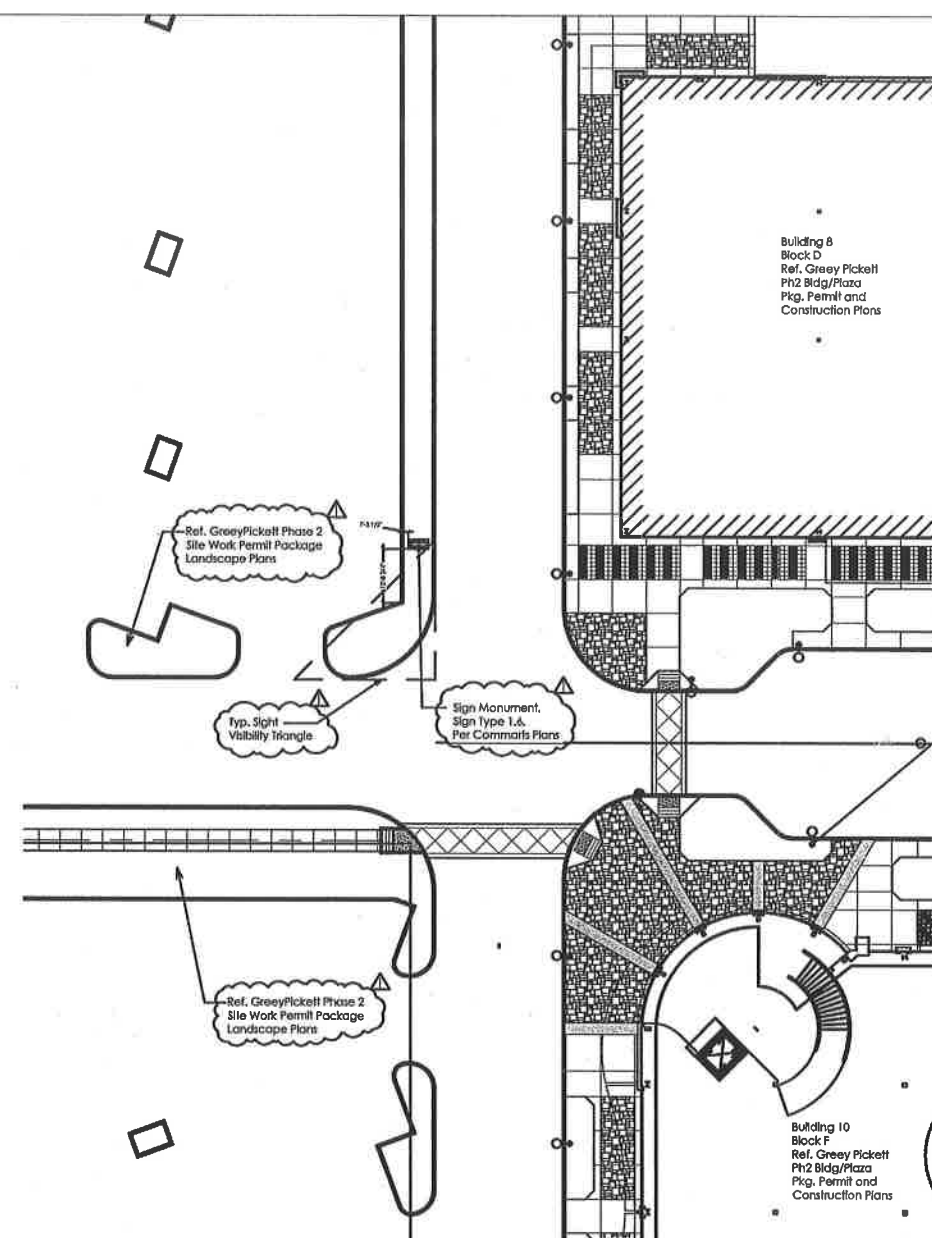
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8 Directional I
Scale: 1"=20'-0"



9 Directional J
Scale: 1"=20'-0"

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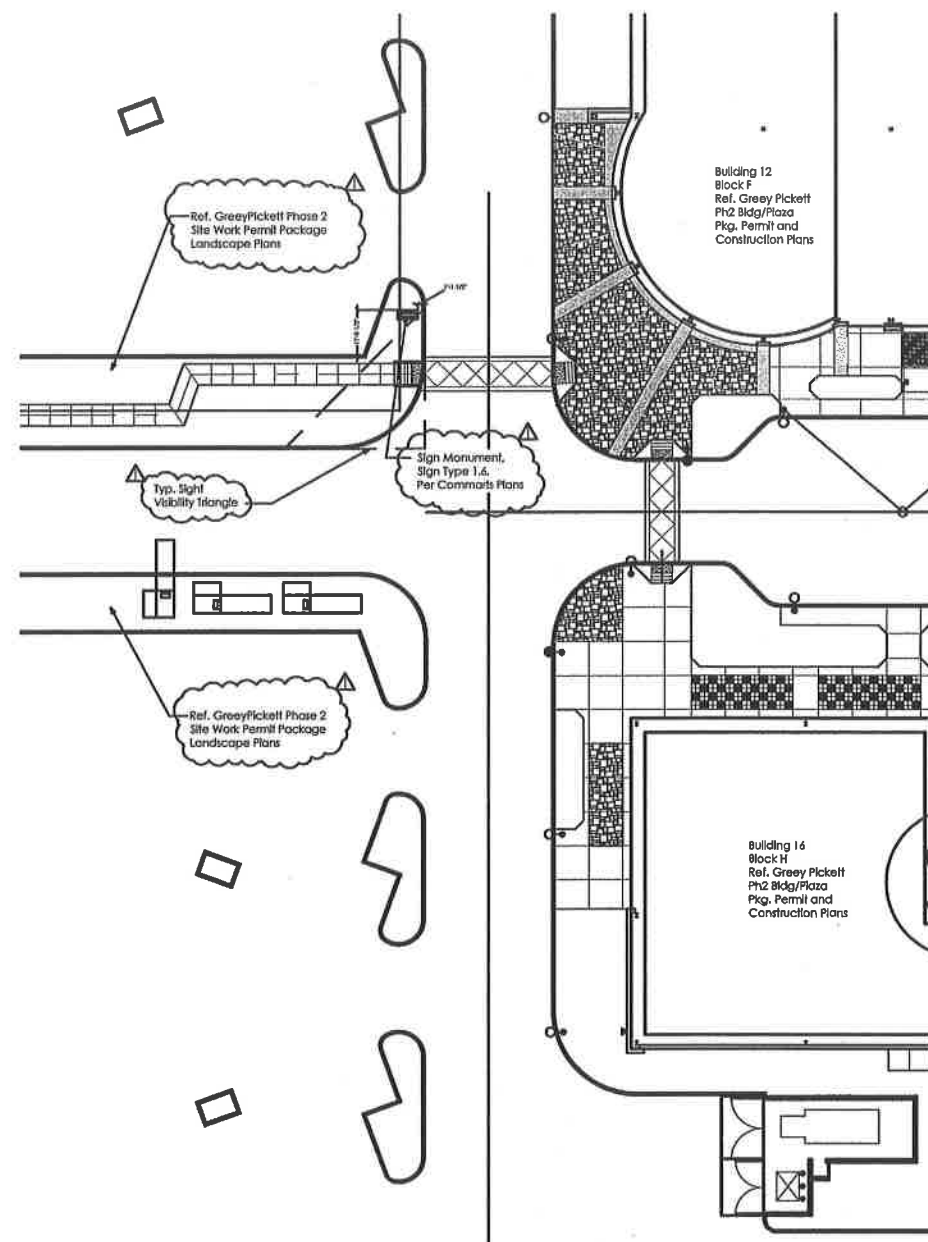
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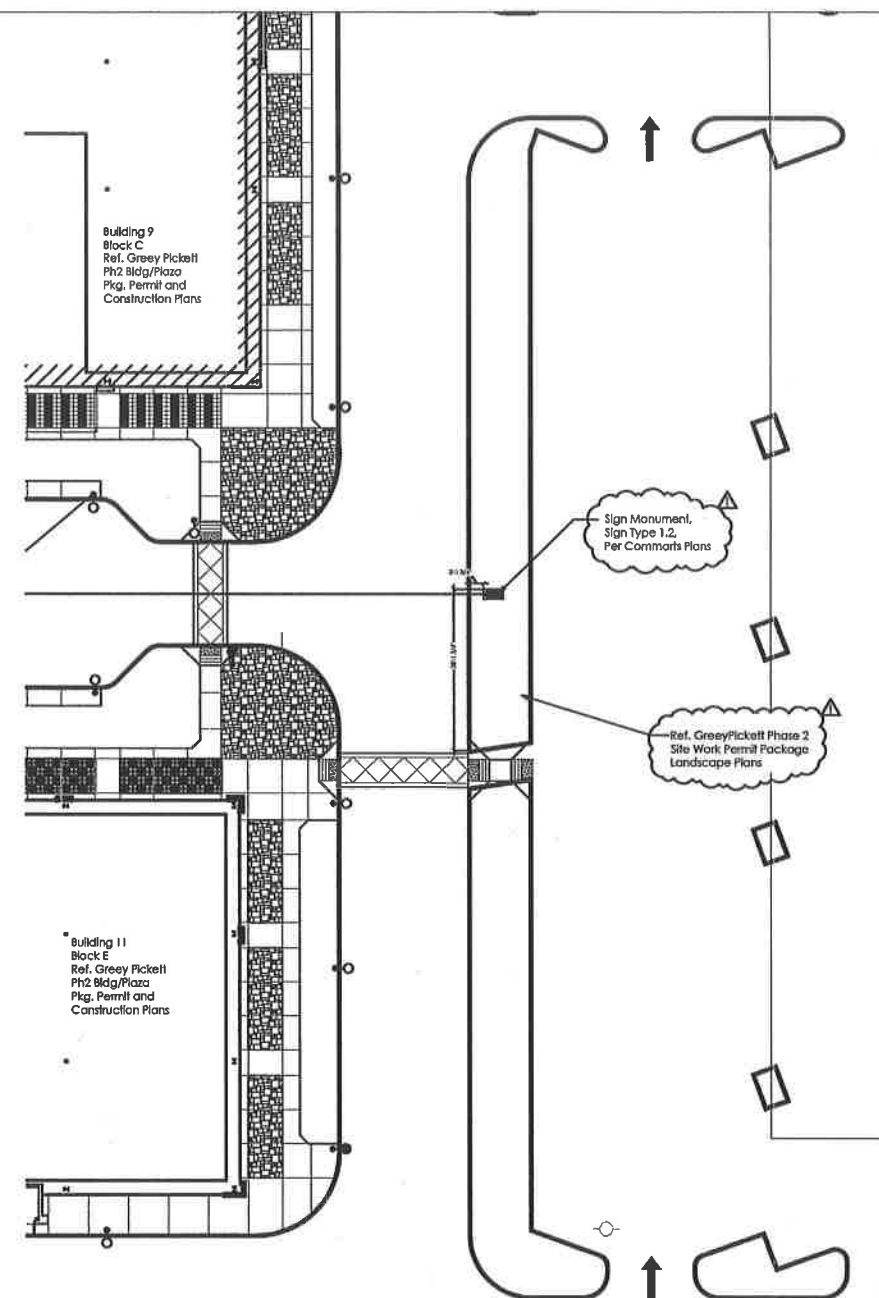
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10 Directional K
Scale: 1"=20'-0"



11 Directional L
Scale: 1"=20'-0"

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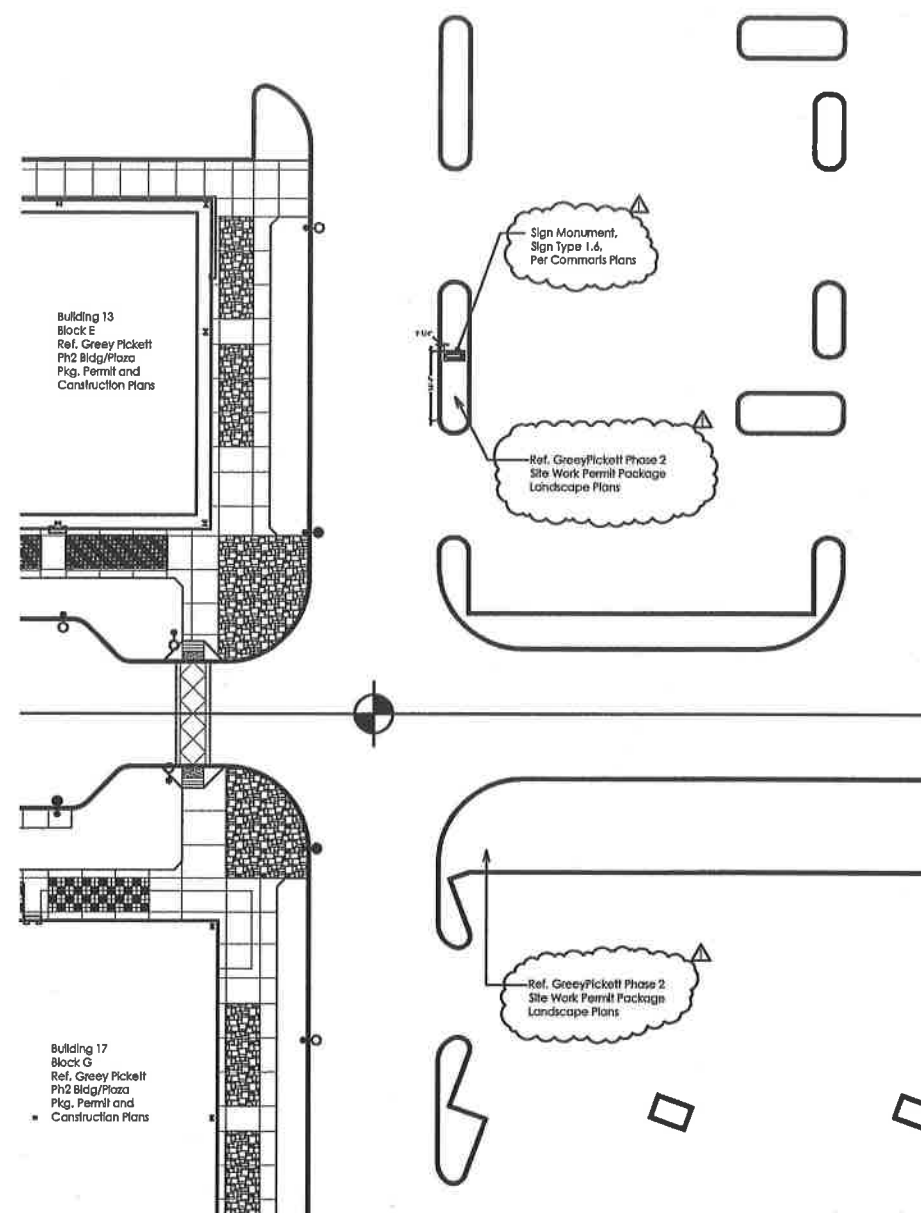
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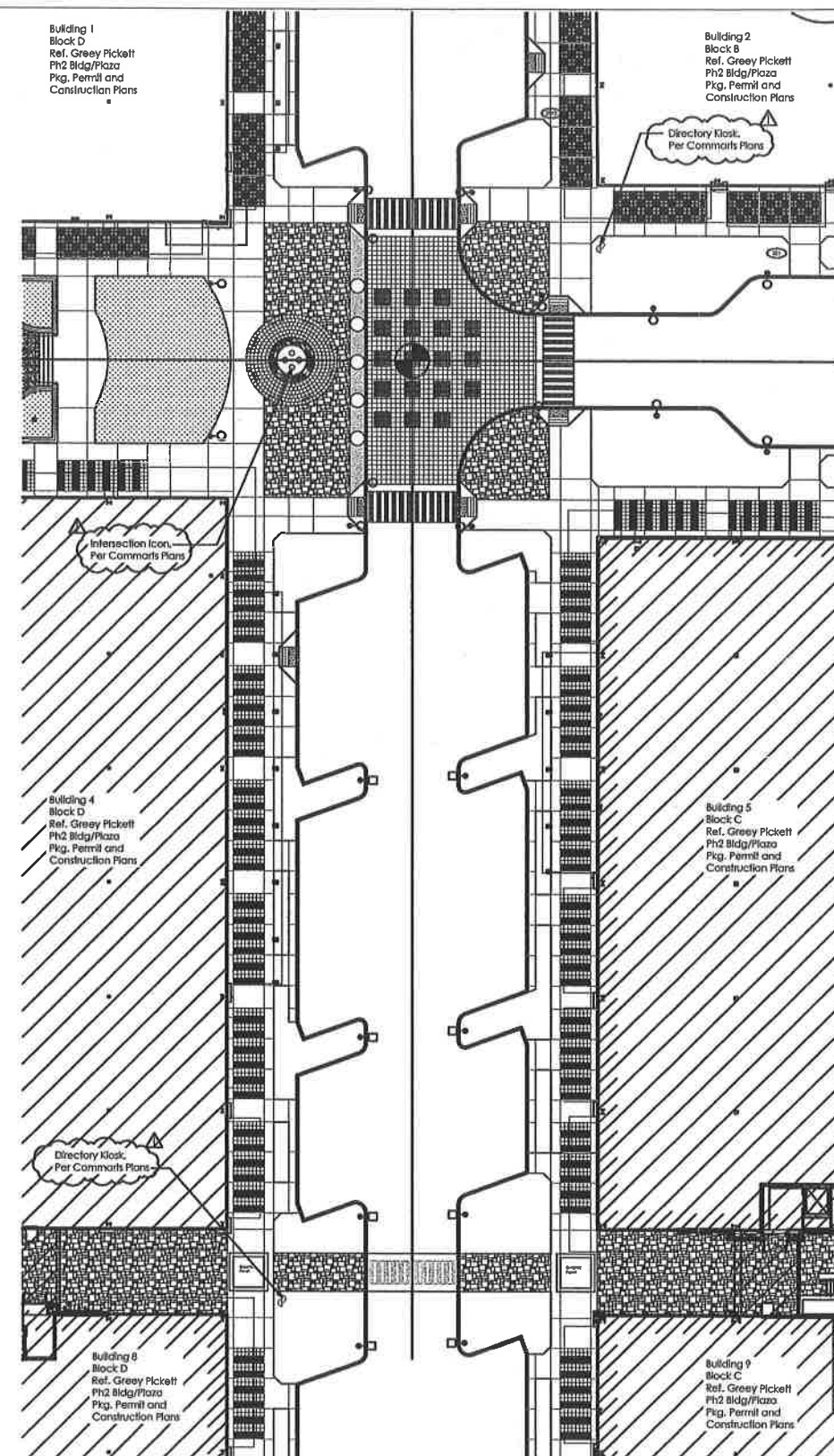
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12 Directional M
Scale: 1"=20'-0"



13 Shade Kiosks N1
Scale: 1"=20'-0"

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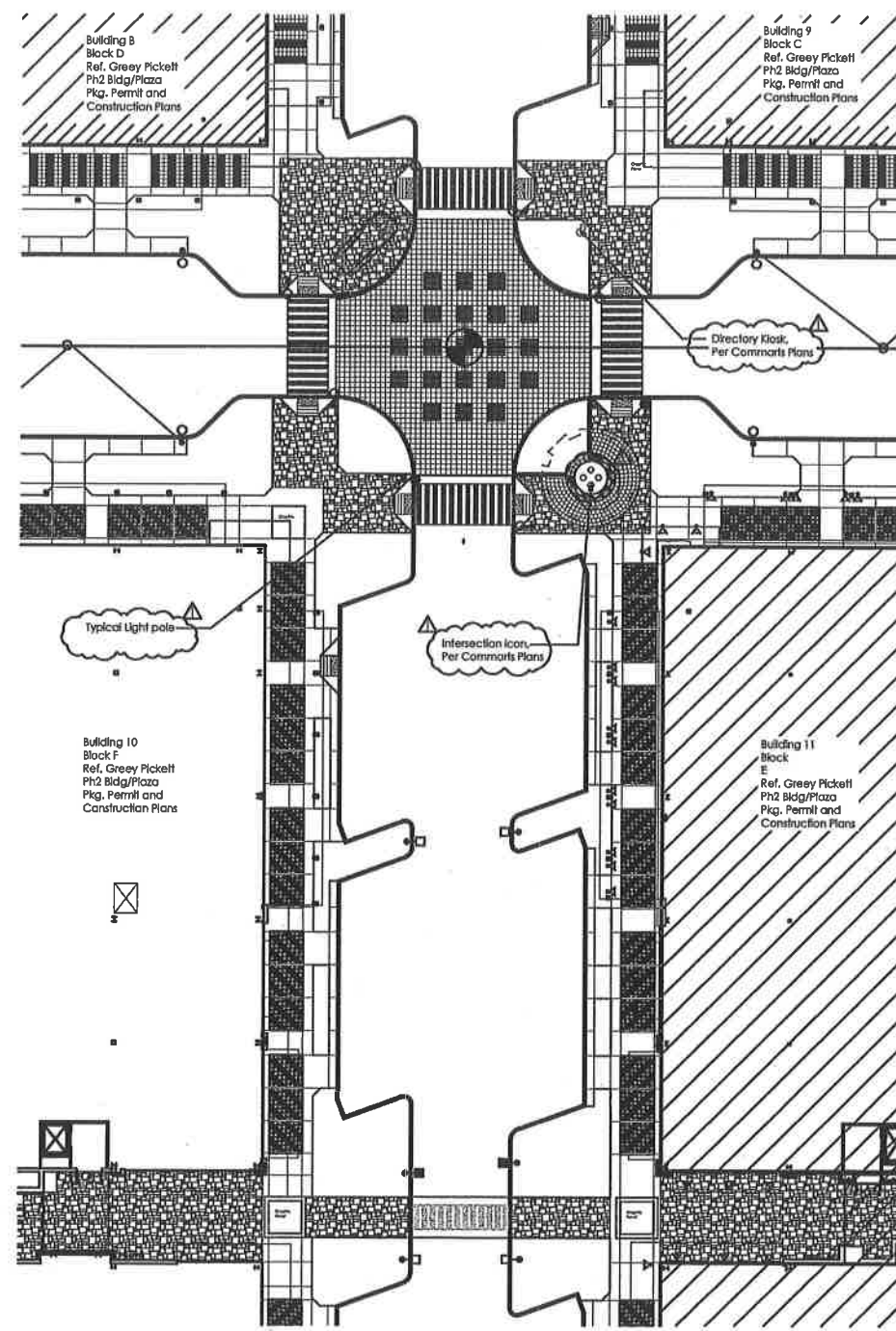
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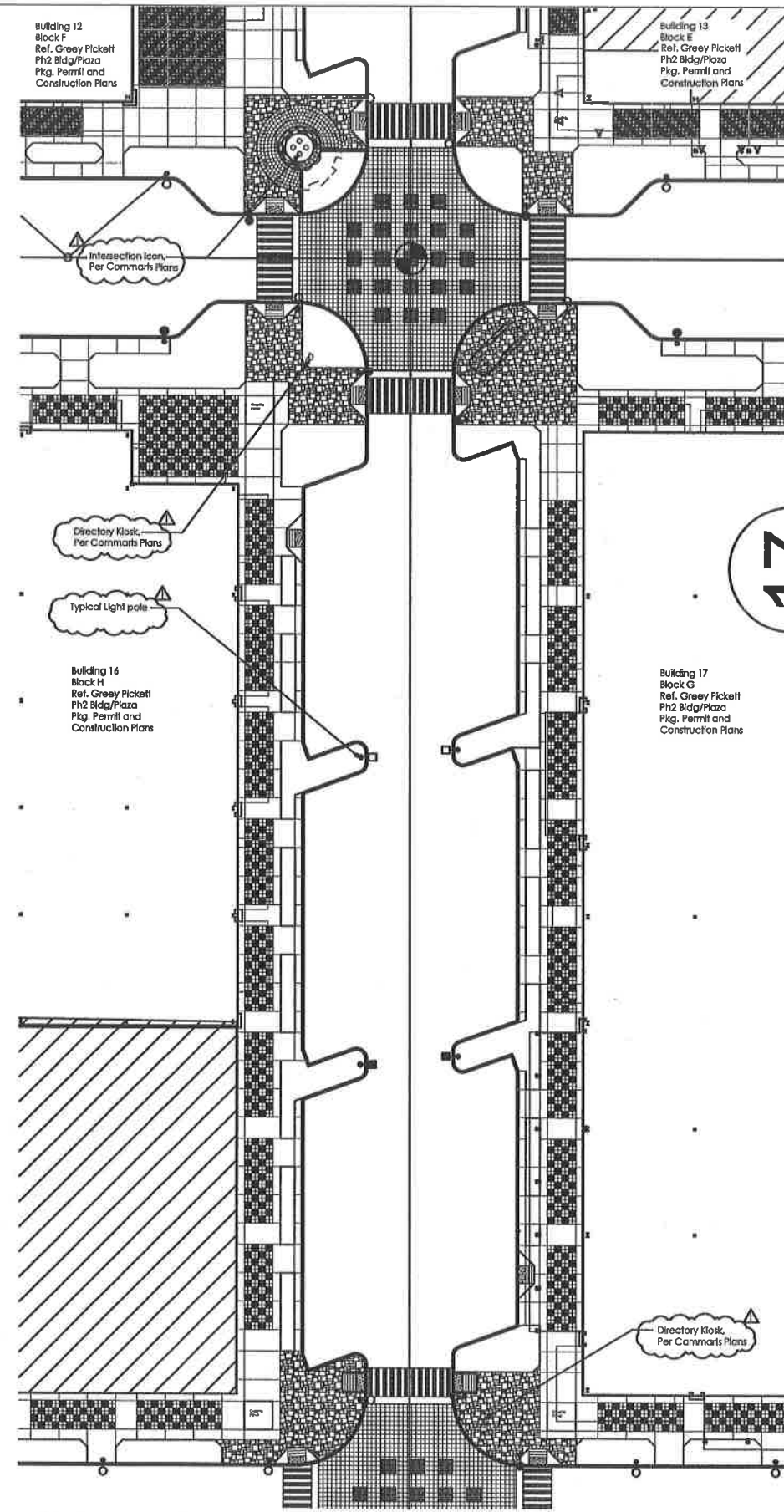
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14 Intersection Icon N2
 Scale: 1"=20'-0"



15 Intersection Icon N3
 Scale: 1"=20'-0"

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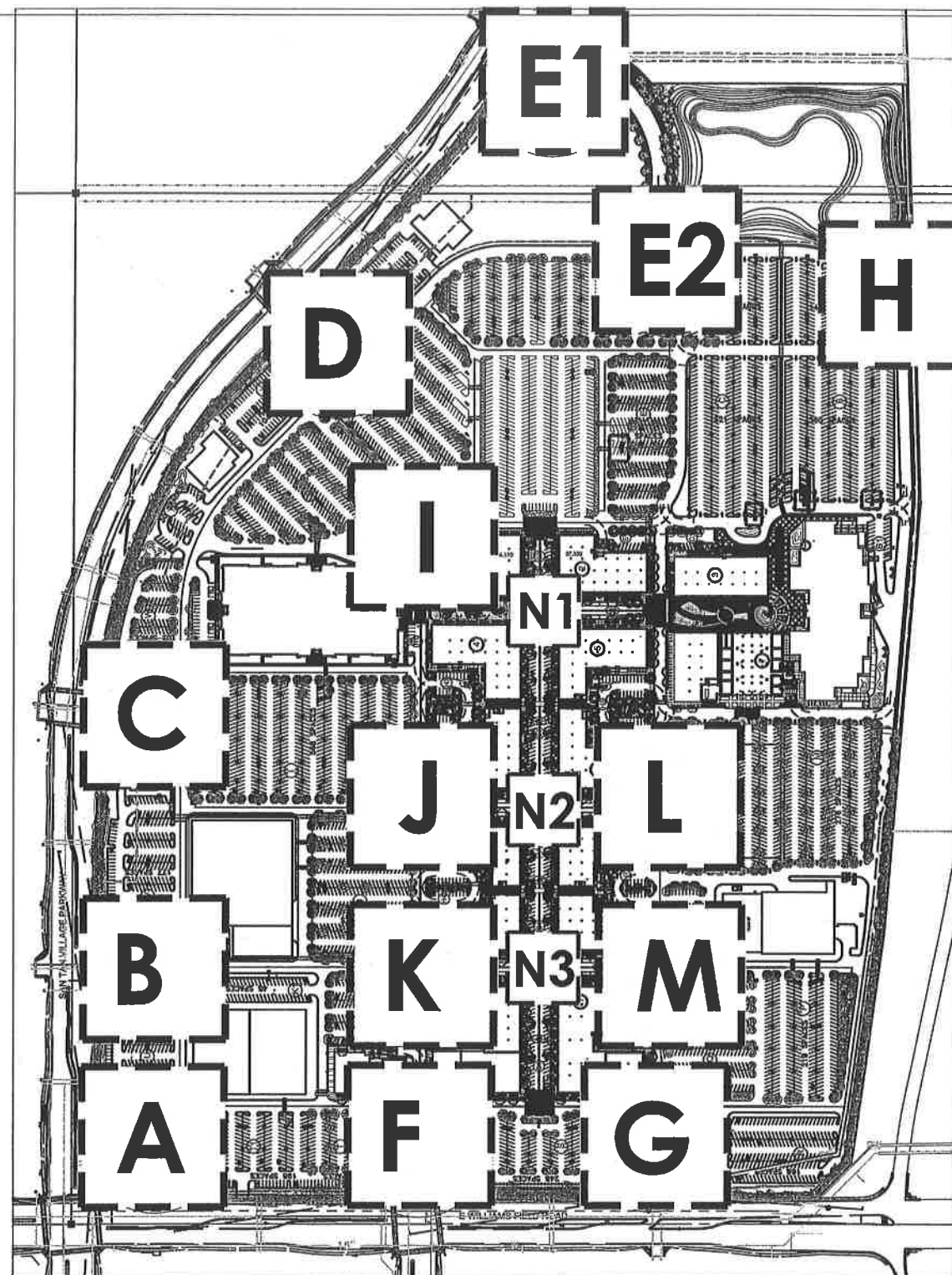
Sym.	Plant Name	Size	Qty
Trees			
	<i>Acacia aneura</i> Mulga Acacia	See Plan	2
	<i>Acacia mearnsii</i> Sweet Acacia	See Plan	0
	<i>Acacia Willardia</i> Palo Blanco	24" Box	48
	<i>Cercidium floridanum</i> Blue Palo Verde	See Plan	1
	<i>Cercidium floridanum</i> 'Desert Museum' Desert Museum Palo Verde	See Plan	6
	<i>Chilopsis salicoides</i> Chitopa	See Plan	68
	<i>Dalbergia sissoo</i> Sissoo Tree	See Plan	16
	<i>Fraxinus velutina</i> Evergreen Ash	See Plan	67
	<i>Fraxinus velutina</i> 'Rita-Grande' Fox-Tex Ash	See Plan	51
	<i>Pinus encypus</i> Swain Hill Olive	48" Box	123
	<i>Pinus edulis</i> Mondel Pine	See Plan	4
	<i>Pinus halepensis</i> Aleppo Pine	See Plan	1
	<i>Platanus wrightii</i> Sycamore	See Plan	2
	<i>Populus fremontii</i> Fremont Cottonwood	36" Box	14
	<i>Prosopis chilensis</i> Chicón Mesquite	24" Box	13
	<i>Quercus virginiana</i> Southern Live Oak	24" box	59
	<i>Ulmus parvifolia</i> 'Nise' Elm	24" Box	7
	<i>Ulmus parvifolia</i> 'Dixie' Elm	24" box	0

Sym.	Plant Name	Size	Qty
	<i>Buddleia marrubifolia</i> Woody Butterfly Bush	5 gal.	1
	<i>Ceanothus gillii</i> Yellow Bell of France	5 gal.	1
	<i>Calliandra californica</i> JoJo Fairy Duster	5 gal.	170
	<i>Calliandra eriophylla</i> Pink Fairy Duster	5 gal.	3
	<i>Cassia artemisioides</i> Cassia	5 gal.	0
	<i>Canda nemophila</i> Desert Cassia	5 gal.	6
	<i>Cordia parvifolia</i> Little Leaf Cordia	15 gal.	117
	<i>Dianus bicolor</i> Fountain Lily	5 gal.	7
	<i>Dodonaea viscosa 'Purpurea'</i> Purple Hop Bush	15 gal.	110
	<i>Elaeagnus fruticulata</i> Shearberry	15 gal.	142
	<i>Justicia californica</i> Chuparosa	5 gal.	5
	<i>Justicia spiciger</i> Mexican Honeysuckle	5 gal.	0
	<i>Larrea tridentata</i> Creosote	5 Gal.	1
	<i>Leucophyllum frutescens</i> Texas Sage	5 gal.	197
	<i>Leucophyllum frutescens compacta</i> Compact Green Cloud Sage	5 Gal.	316
	<i>Leucophyllum hybrid 'Rain Cloud'</i> Rain Cloud Sage	5 gal.	91
	<i>Leucophyllum frutescens 'TC'</i> Sage	5 Gal.	71
	<i>Leucophyllum frutescens 'White Cloud'</i> White Cloud Sage	5 gal.	48
	<i>Leucophyllum laevigatum</i> Chihuahuan sage	5 gal.	18
	<i>Leucophyllum pruinaceum</i> Silky Bouquet TM	5 gal.	6
	<i>Leucophyllum xyzyphyllum</i> Blue Ranger	5 gal.	202
	<i>Myrtus communis 'Compacta'</i> Compact Myrtle	5 gal.	382
	<i>Nandina domestica</i> Heavenly Bamboo	15 gal.	34
	<i>Nerium oleander 'Fertile Pink'</i> Peltie Pink Oleander	15 gal.	81
	<i>Nolina nelsoni</i> Blue Nolina	1 gal.	32
	<i>Persea indica 'Pinkie'</i> Indian Hawthorne	5 gal.	162
	<i>Ruellia brittoniana</i> Ruellia	5 gal.	93
	<i>Ruellia brittoniana 'Katie'</i> Dwarf Ruellia	5 gal.	216
	<i>Ruellia peruviana</i> Desert Ruellia	5 gal.	818
	<i>Salvia greggii</i> Autumn Sage	5 gal.	12
	<i>Salvia sp. 'Quicksilver' TM</i> Quicksilver Salvia	5 gal.	0
	<i>Simmondsia chinensis</i> Jojoba	5 gal.	2
	<i>Teocoma stans 'Orange Jubilee'</i> Orange Jubilee	15 gal.	26
	<i>Vauquelinia californica</i>	5 gal.	125

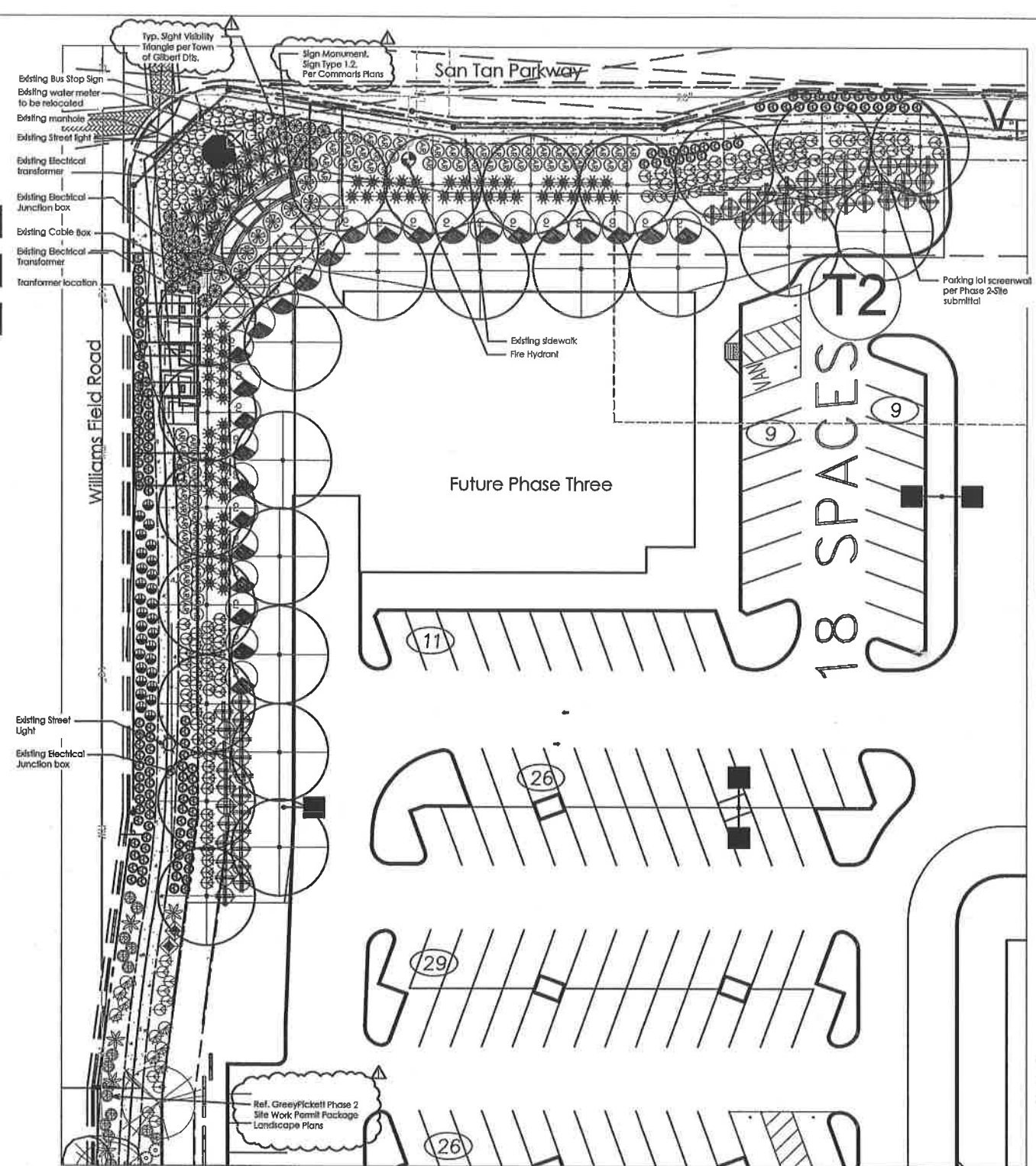
Plant Name		Size	Qty
	<i>Agave americana</i> Century Plant	5 gal.	0
	<i>Agave desertiana</i> Agave	5 gal.	404
	<i>Agave geminiflora</i> Twist Flowered Agave	5 gal.	791
	<i>Agave ocauli</i> Ocauli Agave	5 gal.	0
	<i>Agave Palmeri</i> Palmer Agave	5 gal.	260
	<i>Agave parryi</i> var. <i>parryi</i> Parry's Agave	5 gal.	196
	<i>Agave vitifoliosa</i> Octopus Agave	5 gal.	401
	<i>Aloe variegata</i> Parchige Bread Aloe	5 gal.	2
	<i>Bulbine frutescens</i> "Orange" Orange Bulbine	5 gal.	174
	<i>Chamaerops humilis</i> Med. Fan Palm	see plan	0
	<i>Dasylirion acrothecae</i> Green Desert Spoon	5 gal.	403
	<i>Dasylirion wheeleri</i> Desert Spoon	5 gal.	7
	<i>Euphorbia rigida</i> Blue Euphorbia	5 gal.	275
	<i>Hesperaloe parviflora</i> Glow Hesperaloe	5 gal.	65
	<i>Hesperaloe parviflora</i> -yellow Yellow Hesperaloe	5 gal.	170
	<i>Lophoceros schottii</i> Mexican Fencepost Cactus	4"-7"	9
	<i>Muhlenbergia capillaris</i> Regal Mt. Tm	5 gal.	730
	<i>Muhlenbergia lindheimeri</i> "Autumn Glow" Autumn Glow Mtny	1 gal.	27
	<i>Muhlenbergia rigens</i> Deer Grass	1 gal.	23
	<i>Stenocereus marginatus</i> Mexican Fence Post	5' min.	9
	<i>Yucca thompsoniana</i> Desert Yucca	5 gal.	56

Plant Name		Size	Qty
Groundcovers			
AS	<i>Asclepias tuberosa</i> Trumpet Asclepias	5 gal.	142
⌘	<i>Chrysanthemum mexicanum</i> Daisy	1 gal.	173
⌘	<i>Convolvulus cneorum</i> Bush Morning Glory	1 gal.	0
⌘	<i>Dalea capitata 'Sierra Gold'</i> Sierra Gold Dalea	1 gal.	773
⌘	<i>Dietes iroides</i> Iris	1 gal.	117
⌘	<i>Gaura lindheimeri</i> Pink Gaura	5 gal.	198
⌘	<i>Lantana montevidensis 'Purple'</i> Purple Lantana	1 gal.	1168
⌘	<i>Lantana montevidensis 'White'</i> White Lantana	1 gal.	532
⌘	<i>Lantana montevidensis 'Yellow'</i> Yellow Lantana	1 gal.	172
⌘	<i>Oenothera biundulata</i> Mexican Evening Primrose	1 gal.	213
⌘	<i>Rosmarinus officinalis 'Prostratus'</i> Prostrate Rosemary	1 gal.	836
⌘	<i>Rosmarinus officinalis 'Tuscan Blue'</i> Tuscan Blue Rosemary	1 gal.	15
⌘	<i>Verbena goodenifolia</i> Gooding Verbena	1 gal.	319
⌘	<i>Verbena rigida</i> Sandpaper Verbena	5 gal.	0
⌘	<i>Wedelia trilobata</i> Yellow Dill	1 gal.	645

Plant Name			
	Vines	Size	Qty
	<i>Bougainvillea 'Barbara Karst'</i> Bougainvillea	5 gal.	25
	<i>Bougainvillea 'California Gold'</i> Orange Bougainvillea	5 gal.	11
	<i>Bougainvillea 'San Diego Red'</i> Bougainvillea	5 gal.	18
	<i>Bougainvillea 'Temple Fire'</i> Bougainvillea	5 gal.	19
	<i>Pilea pumila</i> Creeping Fig	1 gal.	0
	<i>Gelsemium sempervirens</i> Carolina Jasmine	5 gal.	21
	<i>Morfolena unguis-cat</i> Cats Claw Vine	5 gal.	10
	<i>Pandorea jasminoides</i> Bower Vine	5 gal.	18
	<i>Passiflora racemosa</i> Pink Trumpet Vine	5 gal.	28
	<i>Rosa banksiae</i> Lady Banks Rose	5 gal.	9
	<i>Tecoma Stans 'DJ'</i> Tecoma	5 gal.	0
	<i>Trachelospermum jasminoides</i> Star Jasmine	5 gal.	0



0 Key Map
Scale: N.T.S.



1 Main Entry A
Scale: 1" = 20'-0"

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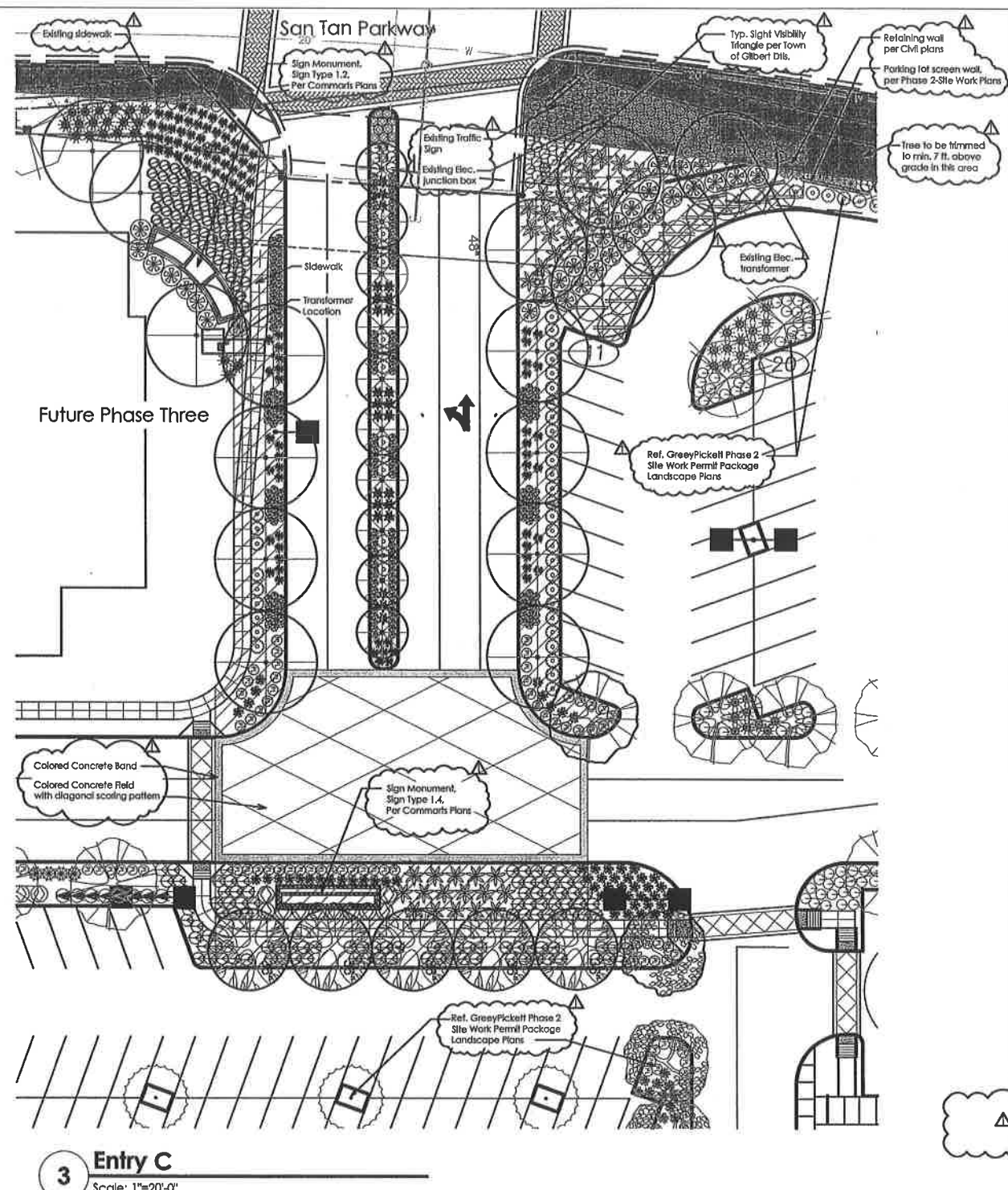
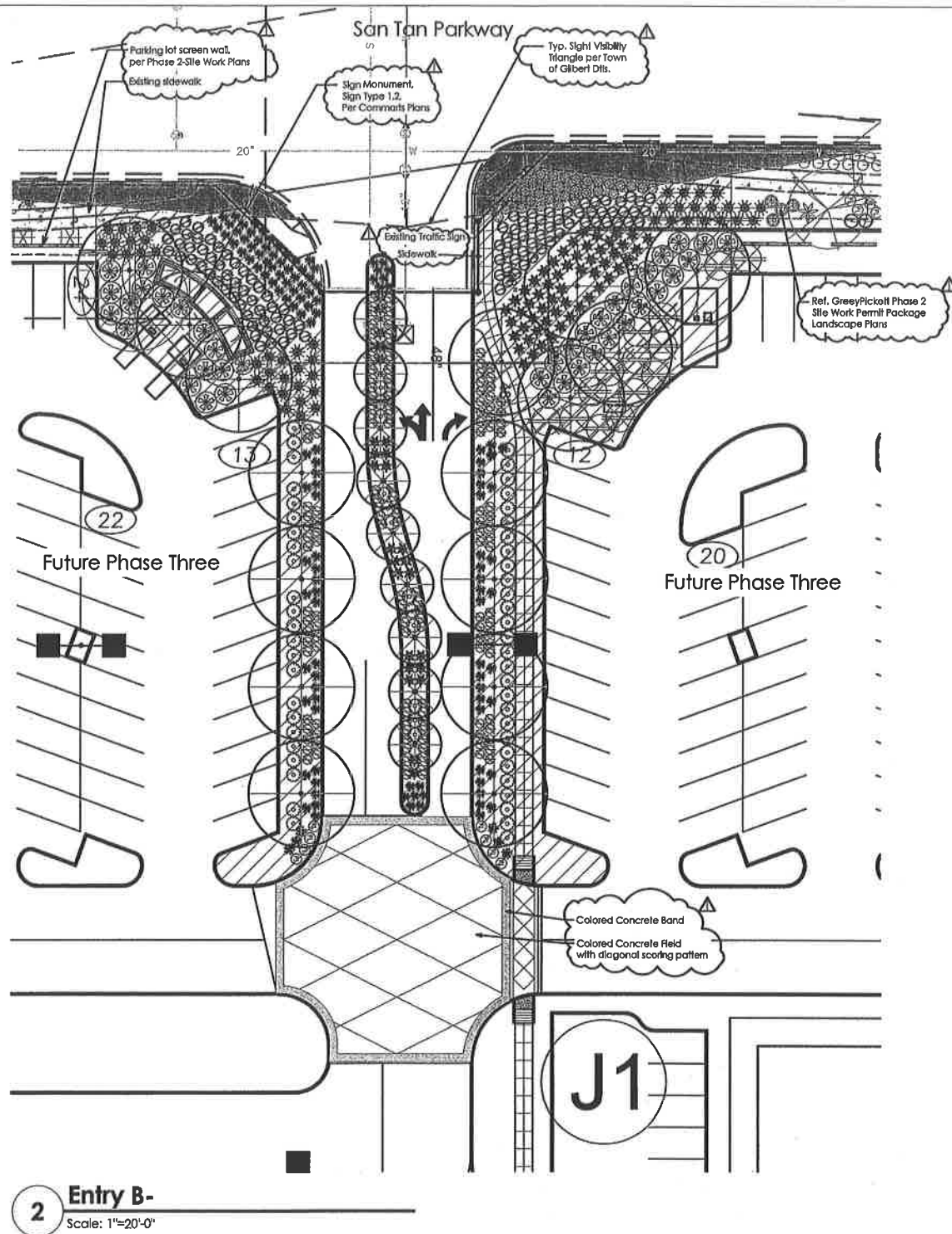
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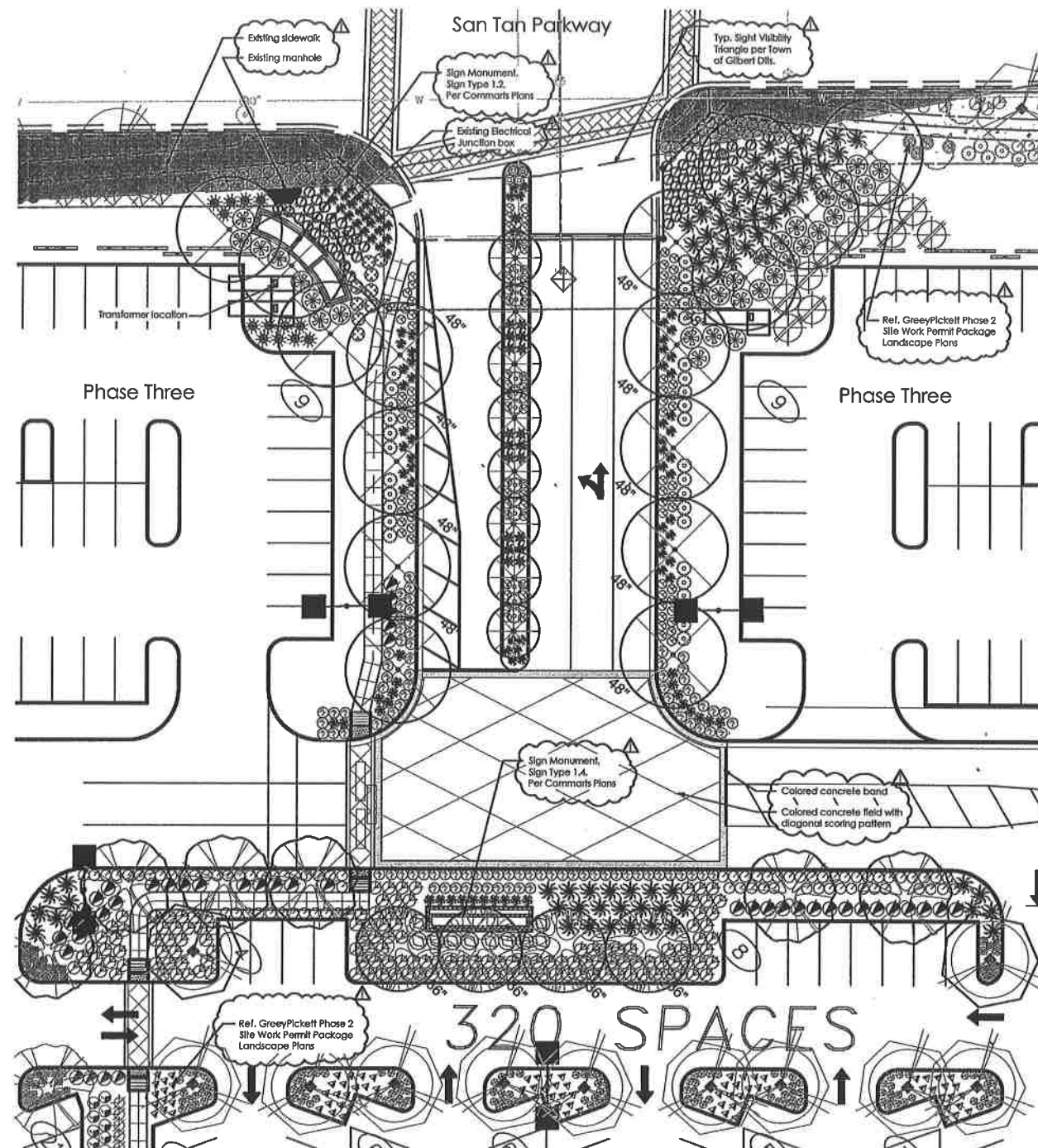
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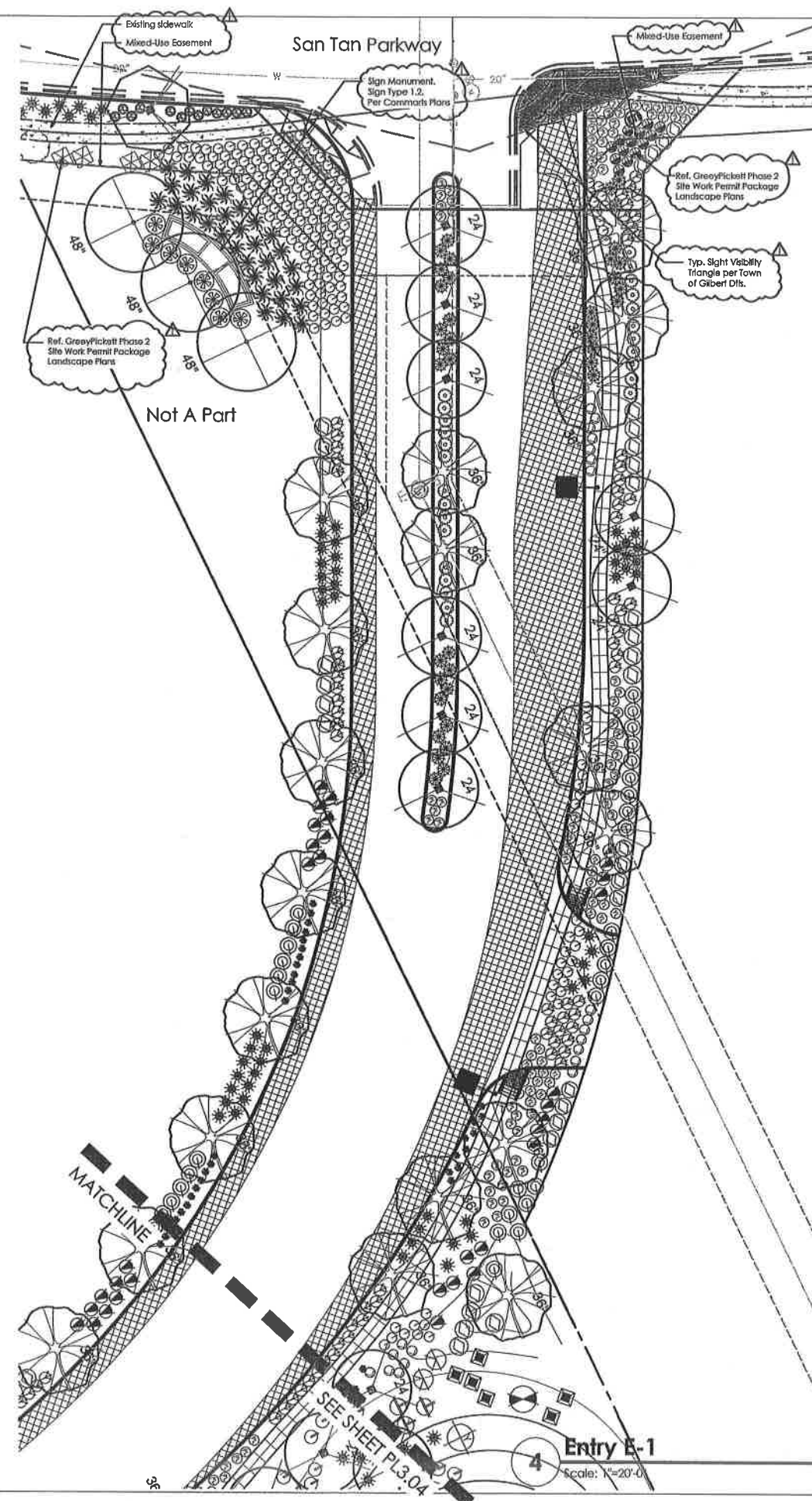
REVISIONS:	
1	30 September, 2006



PL 3.0.2



4 Entry D-
Scale: 1"=20'-0"



@ S
Communication Arts, Incorporated
1112 Pearl Street Boulder, CO 80302
TEL 303.447.8202 FAX 303.440.7096
www.commarts-boulder.com

DRB Sign Submittal

100% Design Intent

SANTAN VILLAGE

GREY | PICKETT

SanTan Village
PROJECT NAME

Westcor
CLIENT NAME

JD 2450
TEAM JOB NUMBER

GENERAL NOTES:

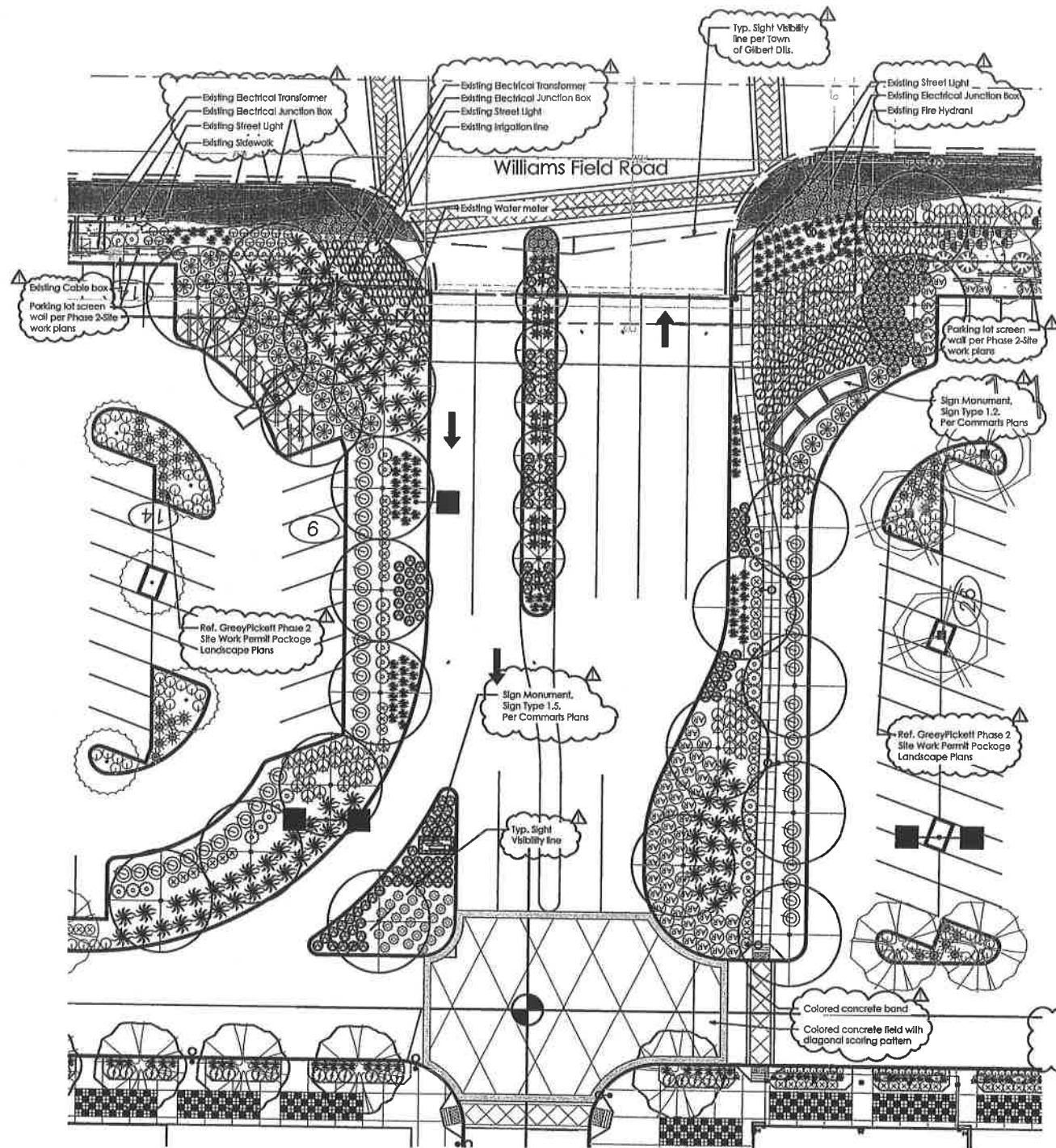
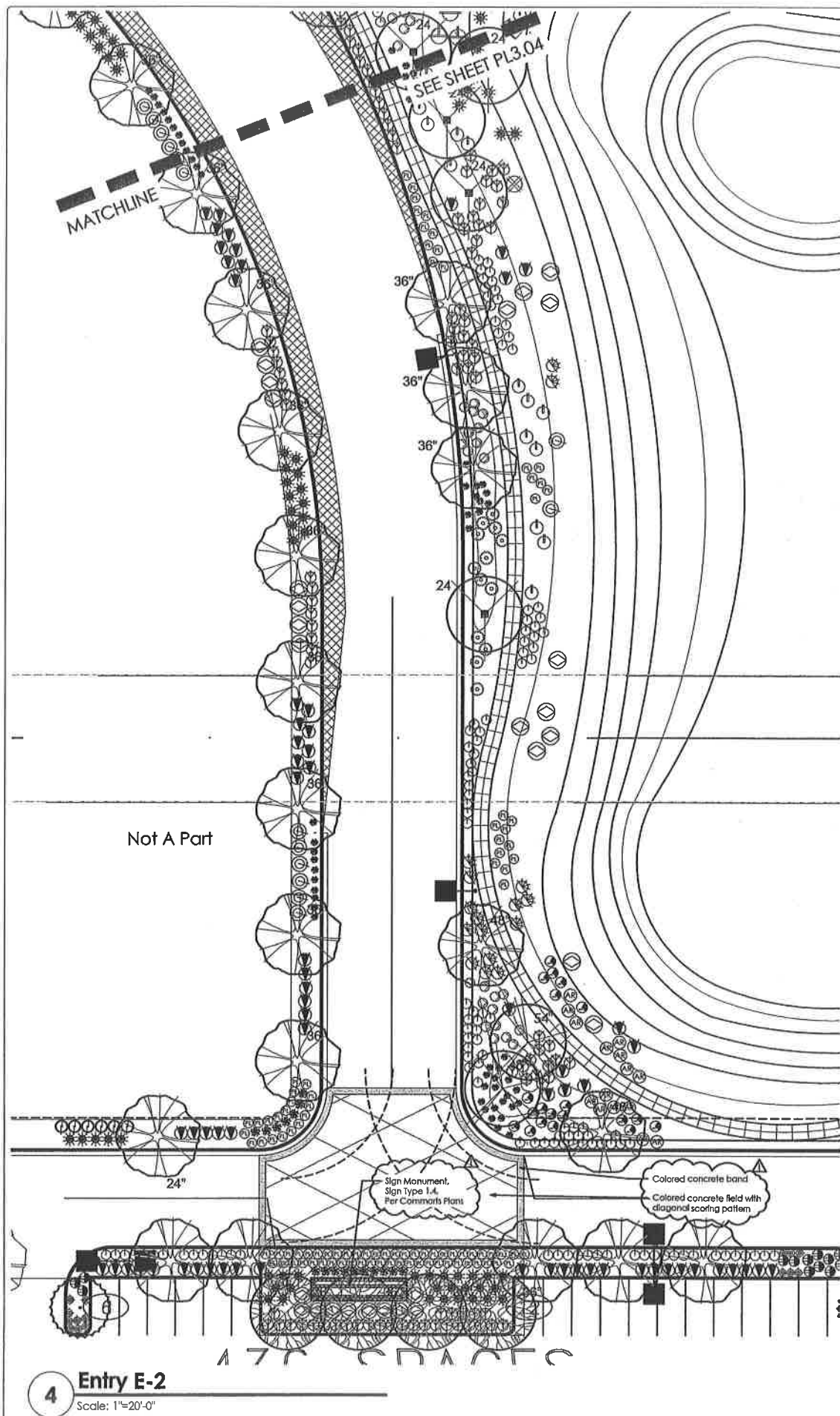
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PL 3.0.3



5 Entry F

Scale: 1"=20'-0"

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PROJECT NAME

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CLIENT NAME

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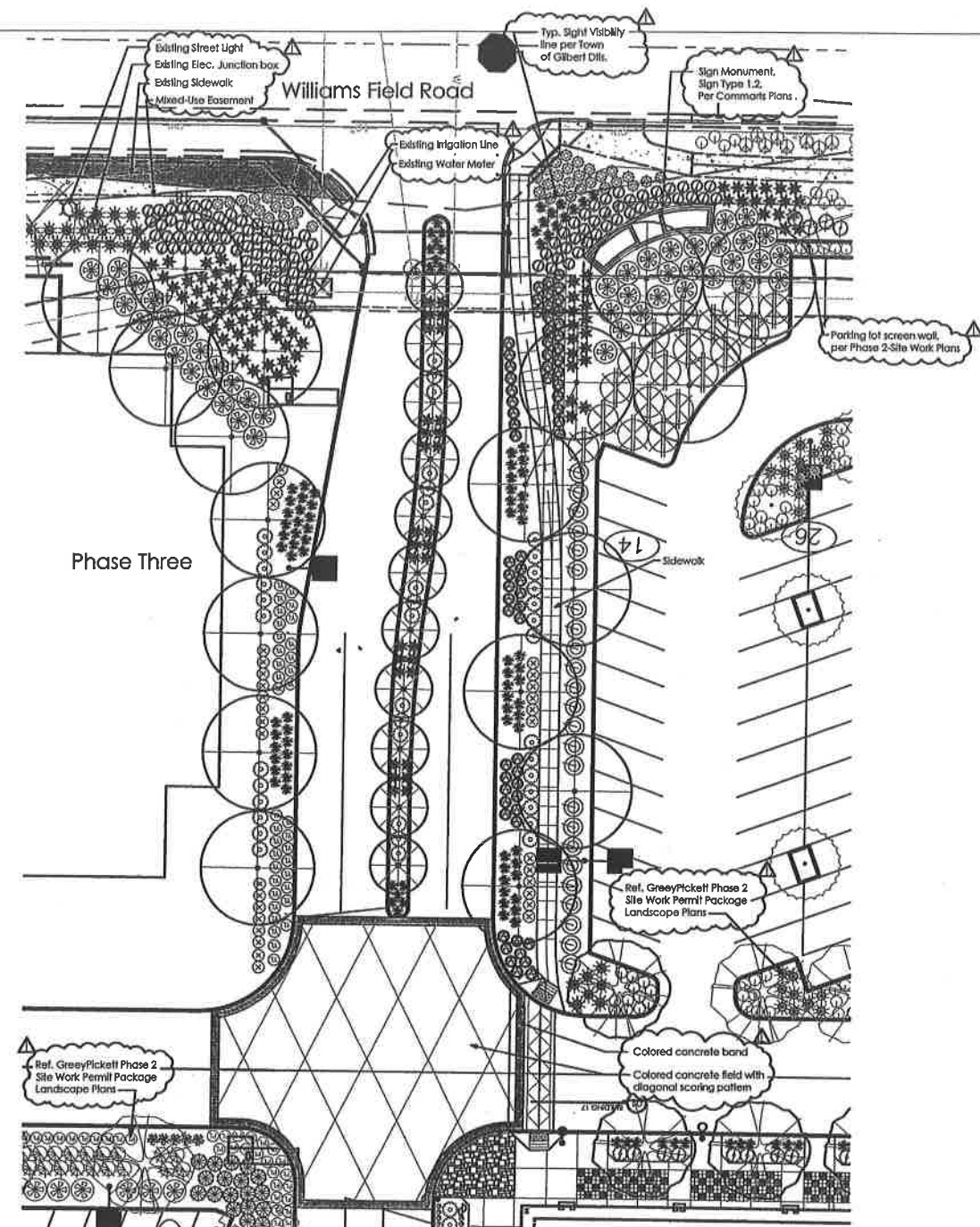
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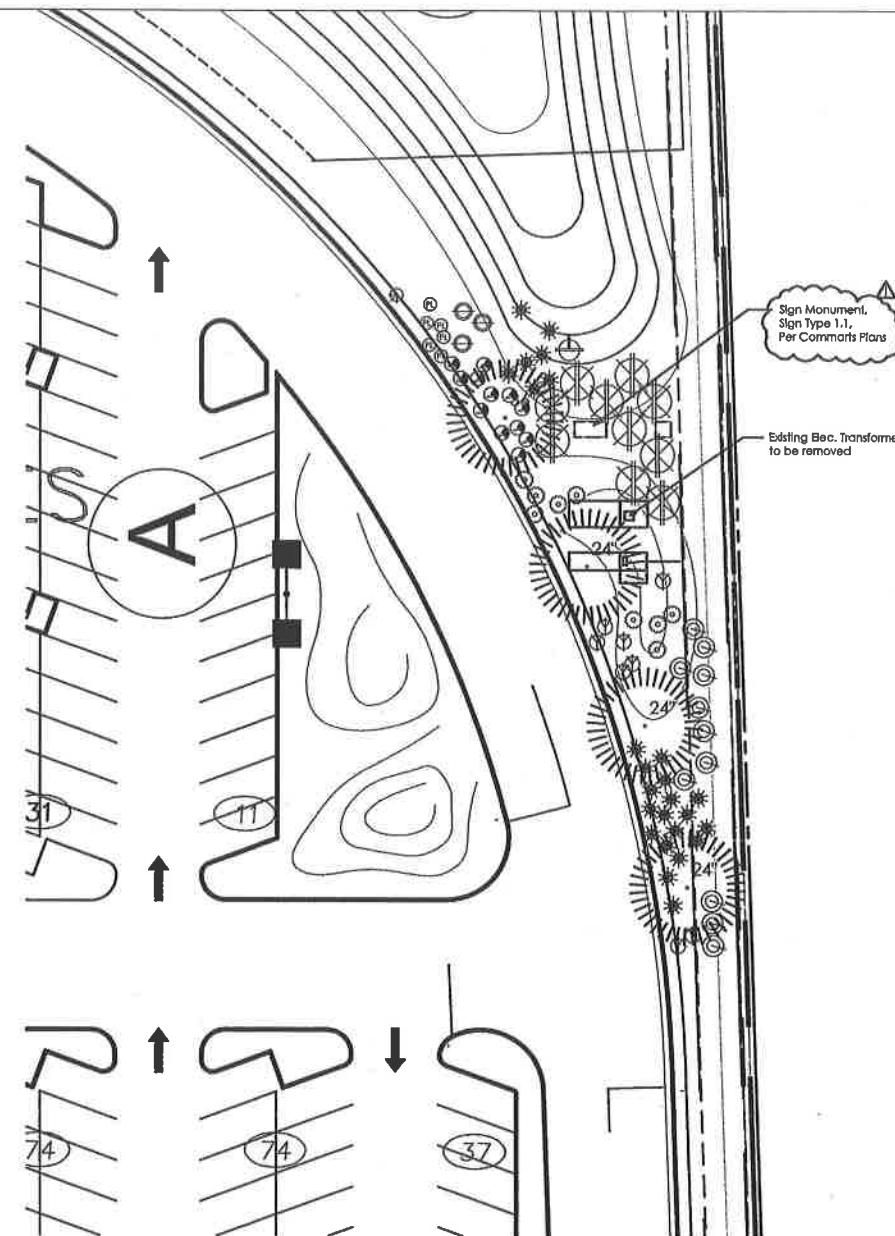
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PL 3.0.4



6 Entry G
Scale: 1"=20'-0"



7 Pylon H
Scale: 1"=20'-0"

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SANTAN VILLAGE

G R E E Y | P I C K E T T

SanTan Village
PROJECT NAME

Westcor
CLIENT NAME

JD 2450
TEAM JOB NUMBER

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PL 3.0.5

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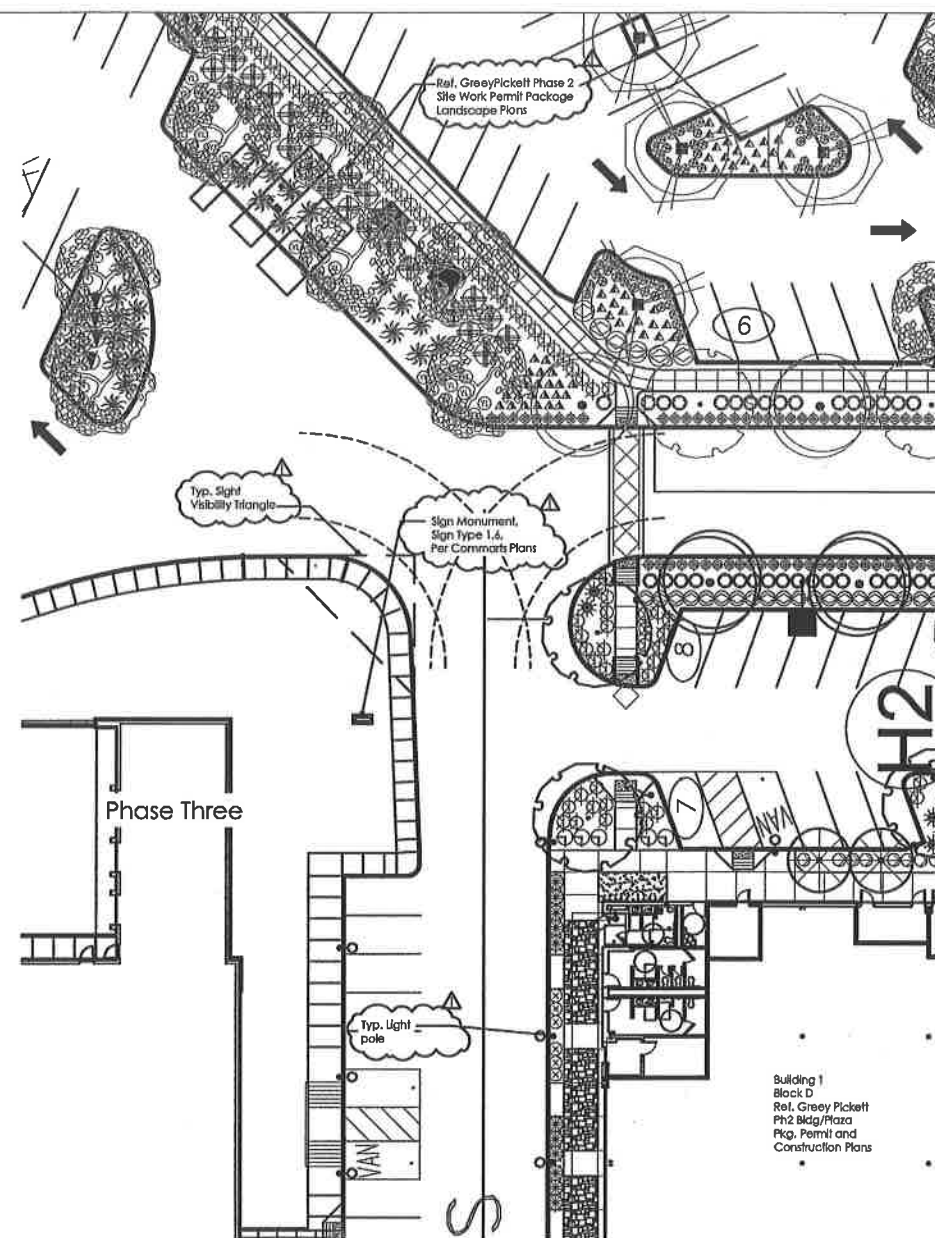
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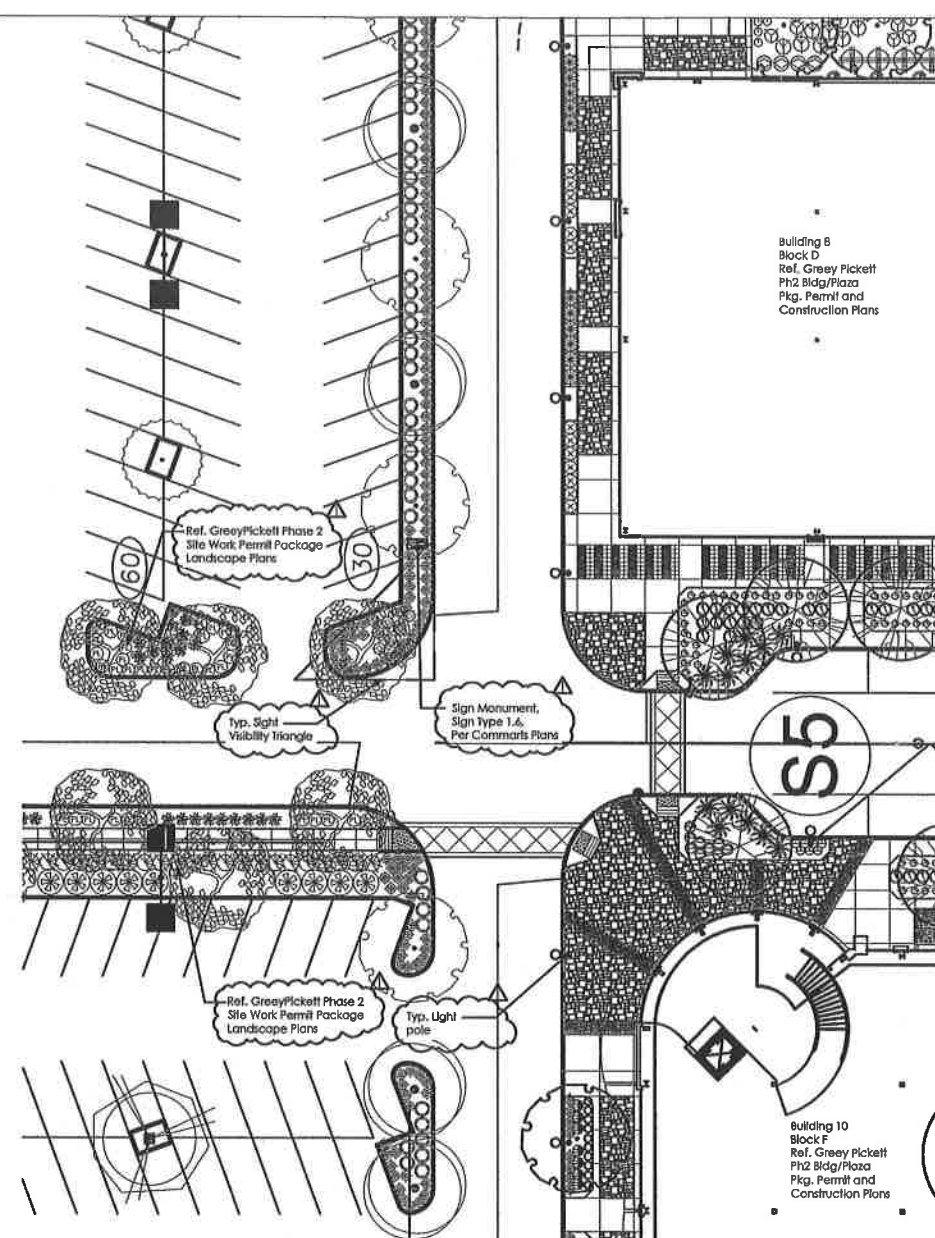
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PL 3.0.6



8 Directional I
Scale: 1"=20'-0"



9 Directional J
Scale: 1"=20'-0"

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SanTan Village
PROJECT NAME

Westcor
CLIENT NAME

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TEAM JOB NUMBER

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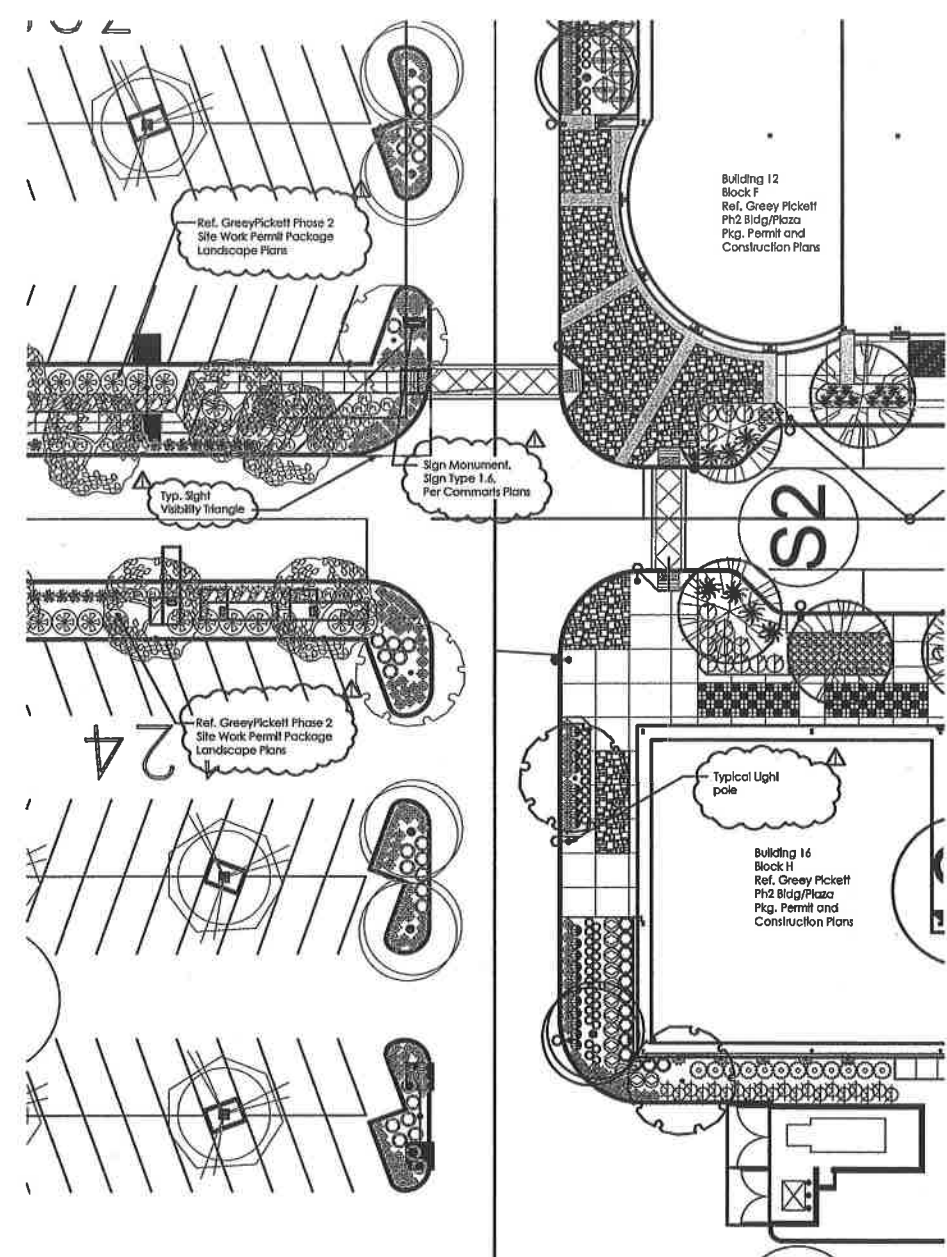
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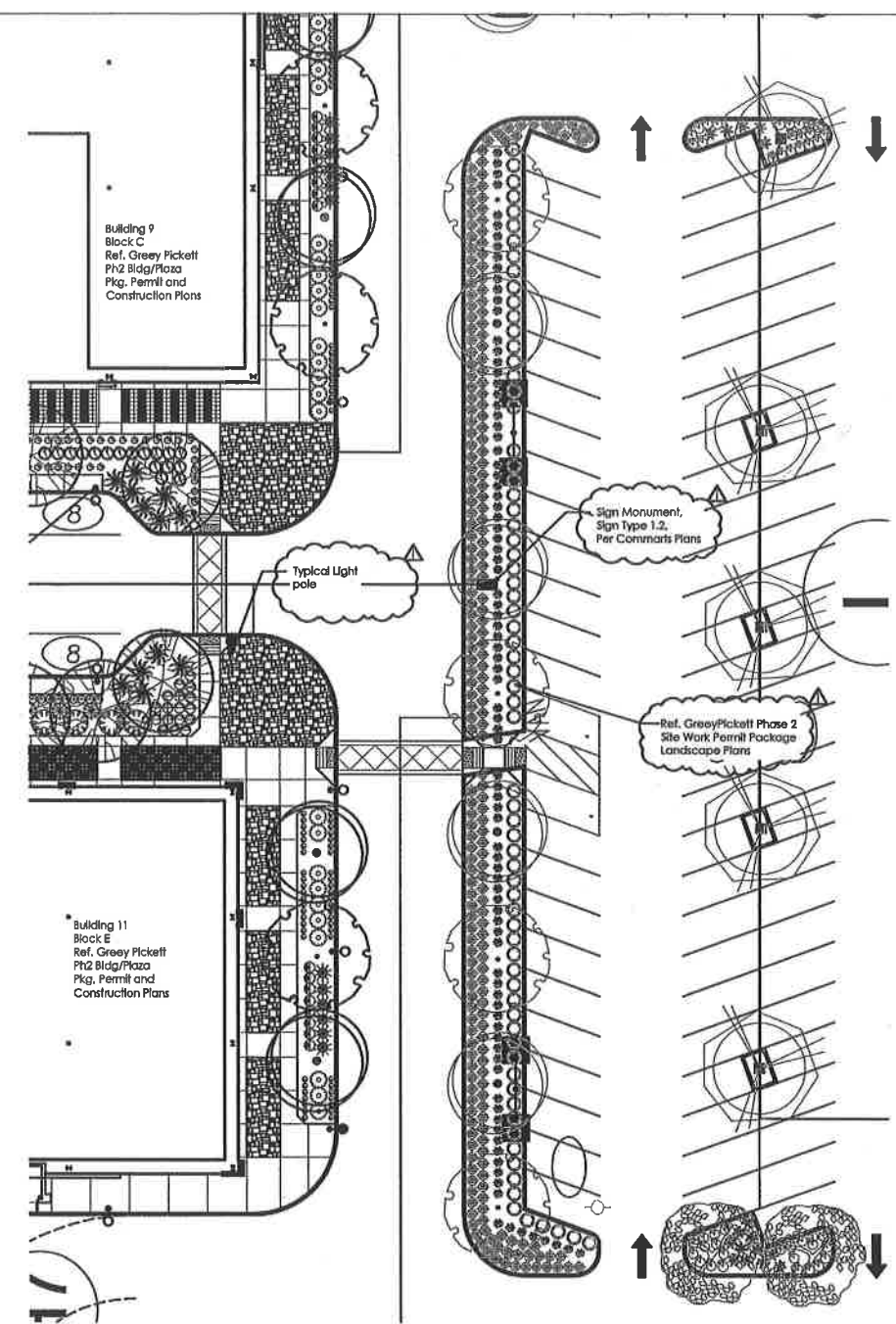
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1	30 September, 2006



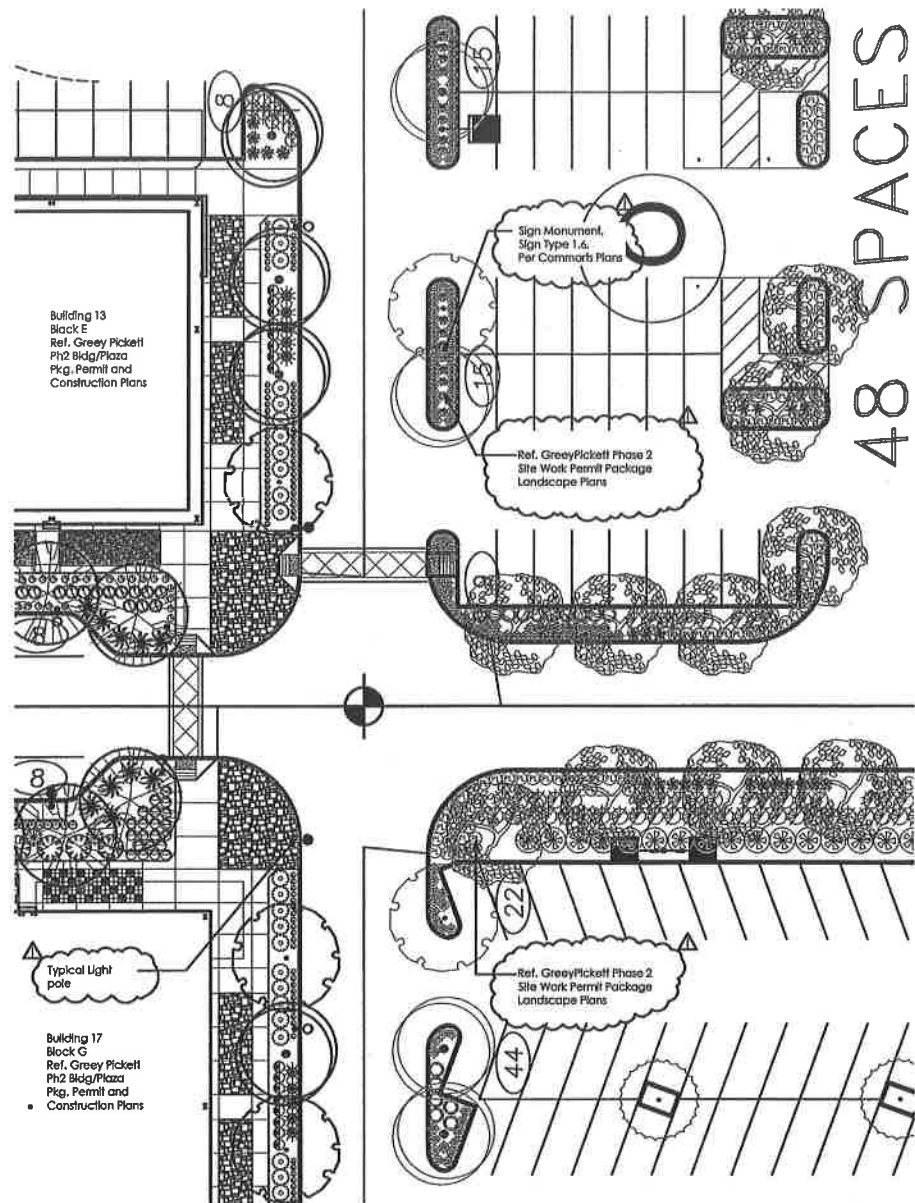
PL 3.0.7



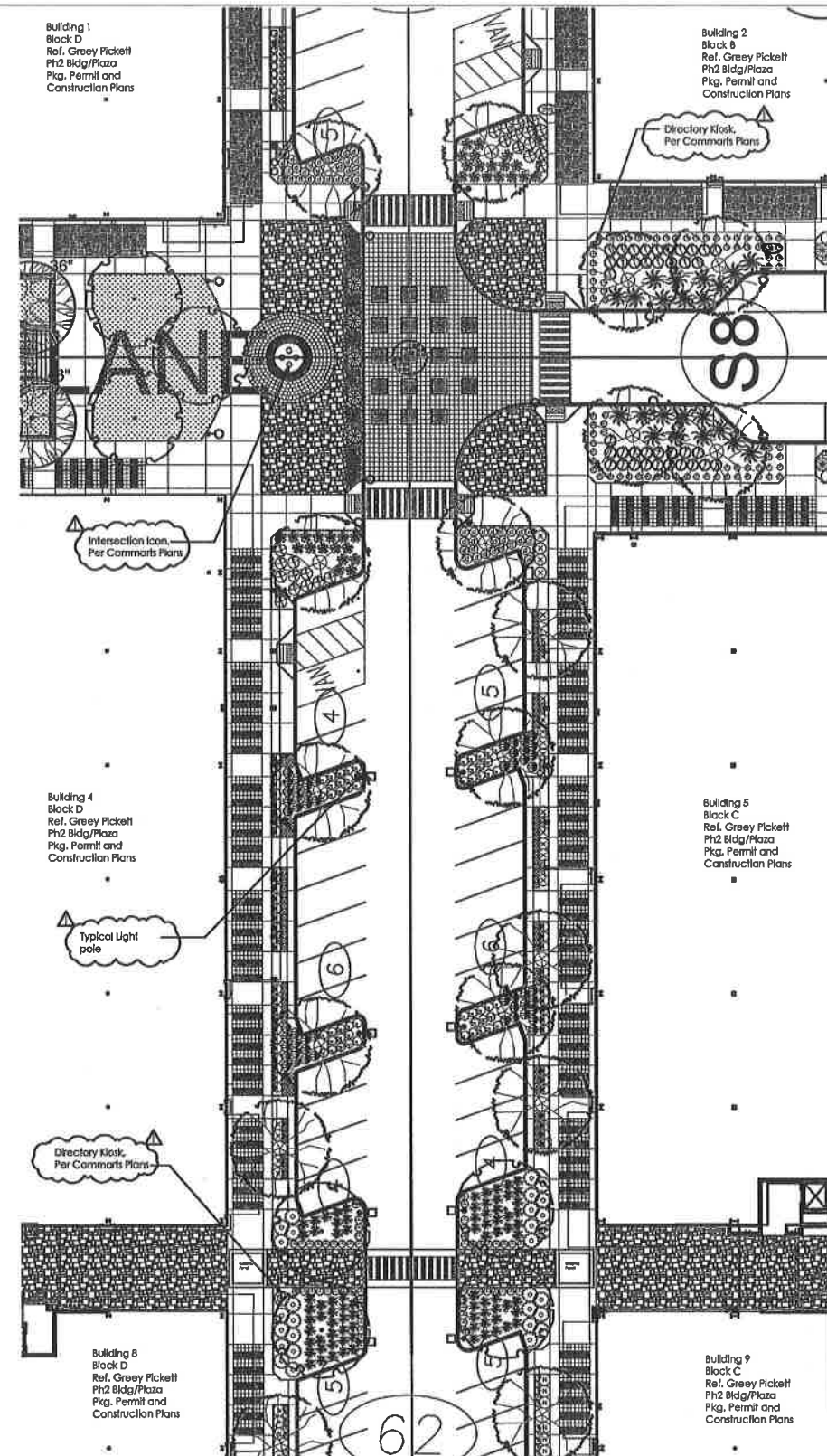
10 Directional K
Scale: 1"=20'-0"



11 Directional L
Scale: 1"=20'-0"



12 Directional M
Scale: 1"=20'-0"



13 Shade Kiosks N1
Scale: 1"=20'-0"

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GREEY | PICKETT

SanTan Village
PROJECT NAME

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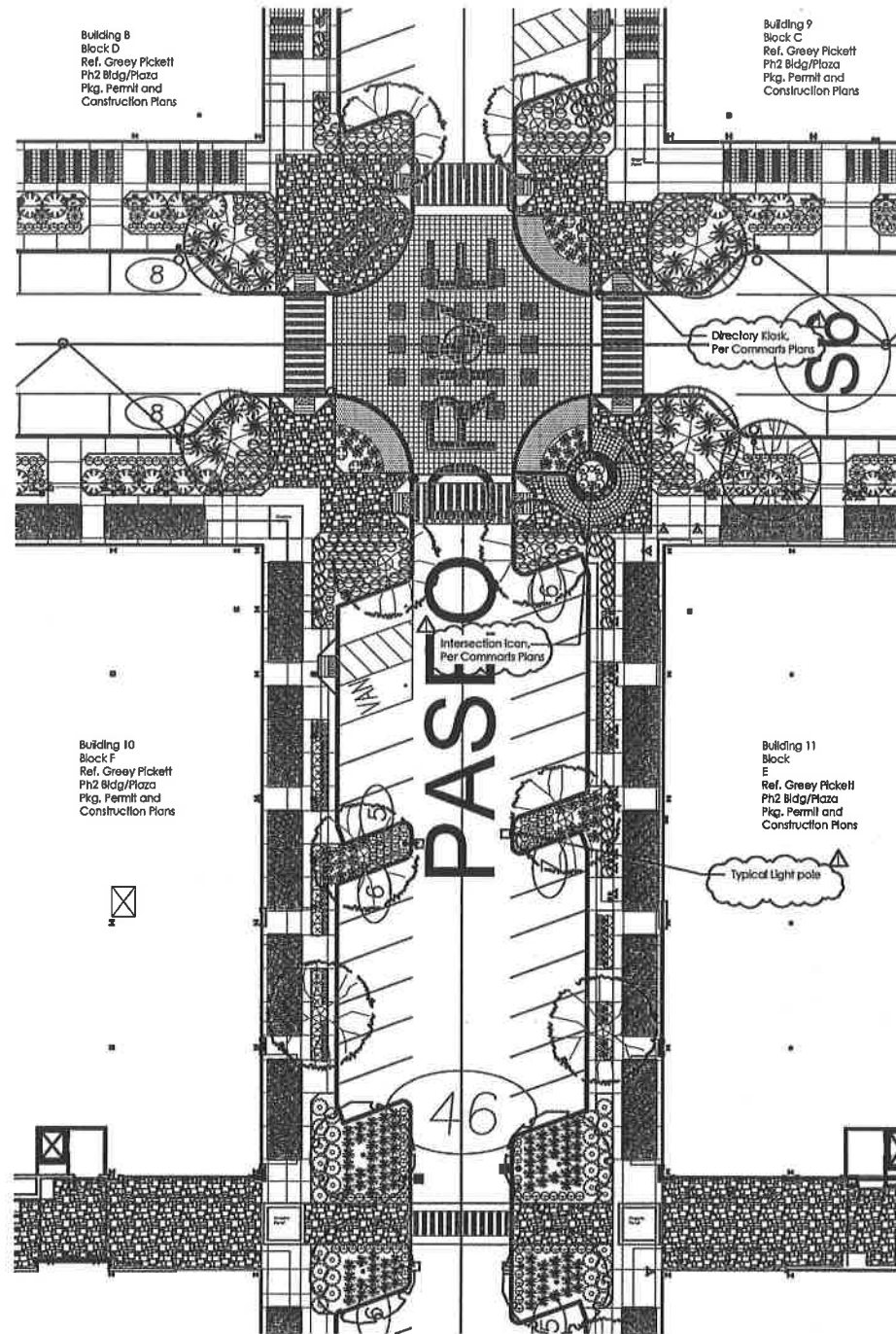
JD 2450
TEAM JOB NUMBER

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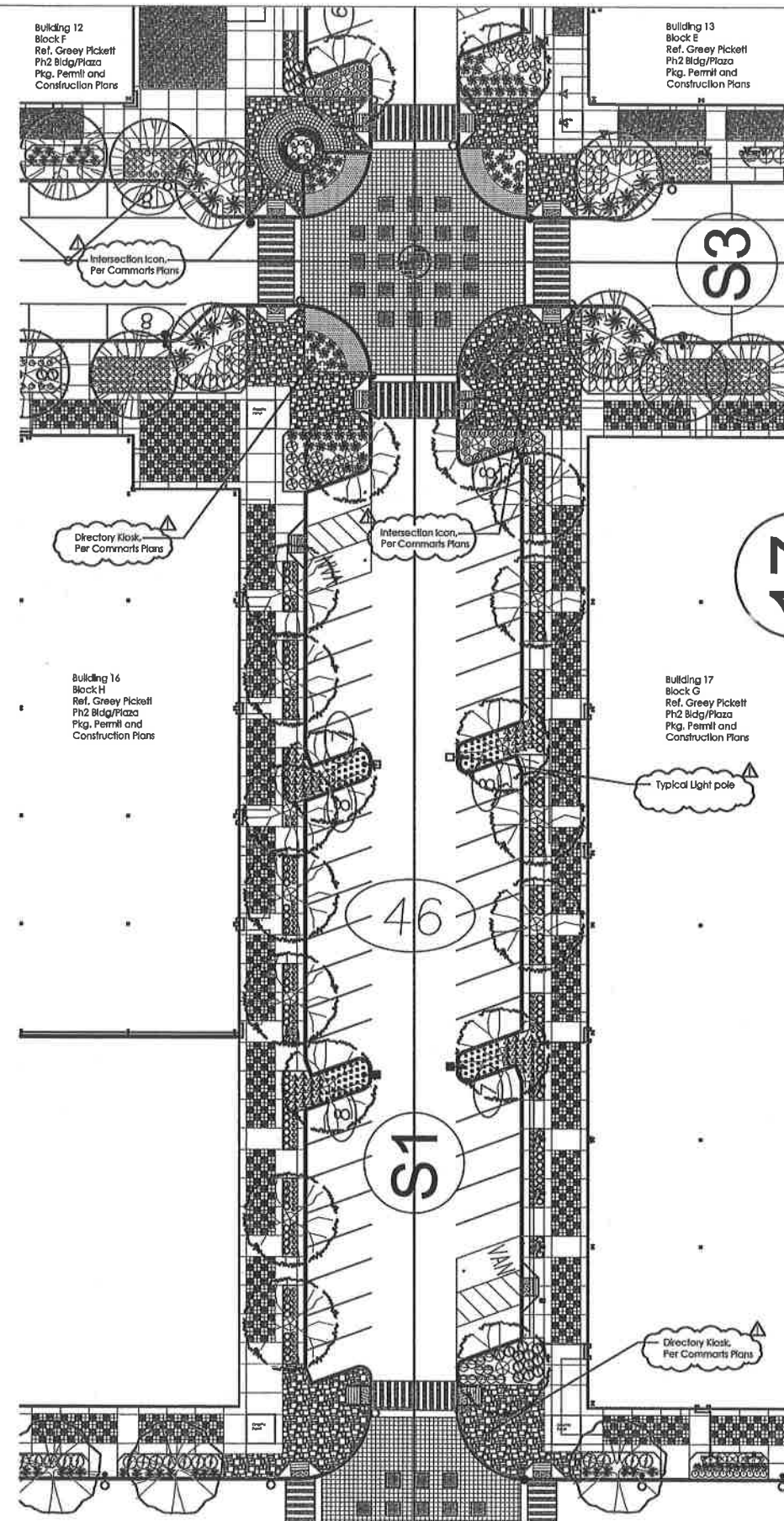
ORIGINAL ISSUE: 22 June, 2006	
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PL 3.0.8



14 Intersection Icon N2
Scale: 1"=20'-0"



15 Intersection Icon N3
Scale: 1"=20'-0"

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SANTAN VILLAGE

GREY PICKETT

Santan Village
PROJECT NAME

Westcor
CLIENT NAME

JD 2450
TEAM JOB NUMBER

GENERAL NOTES:

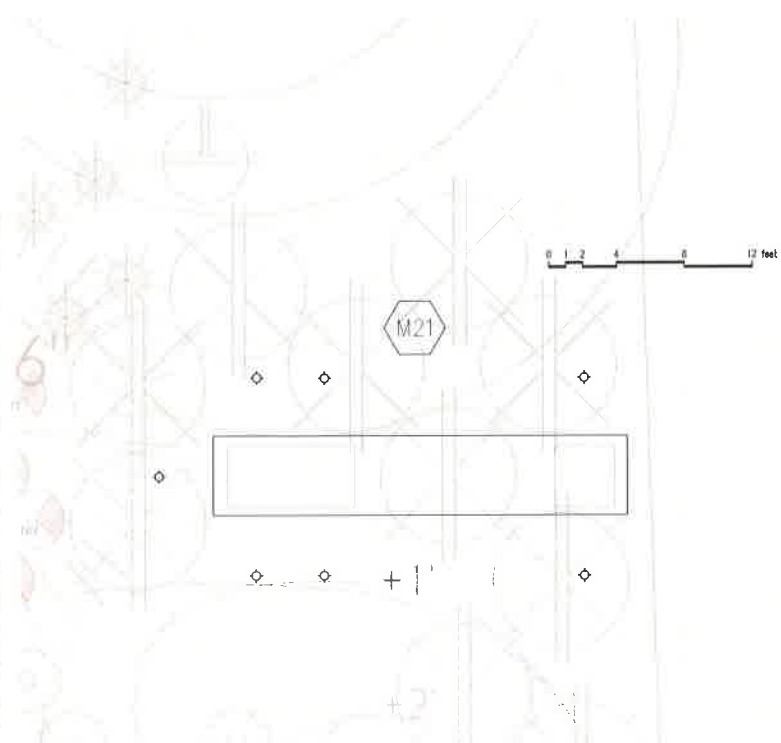
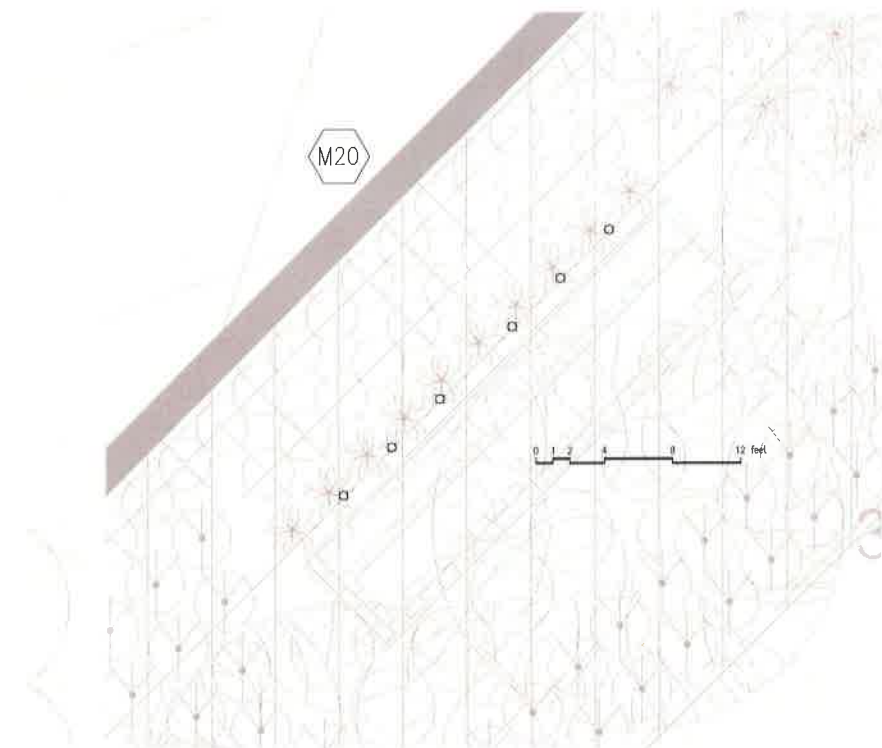
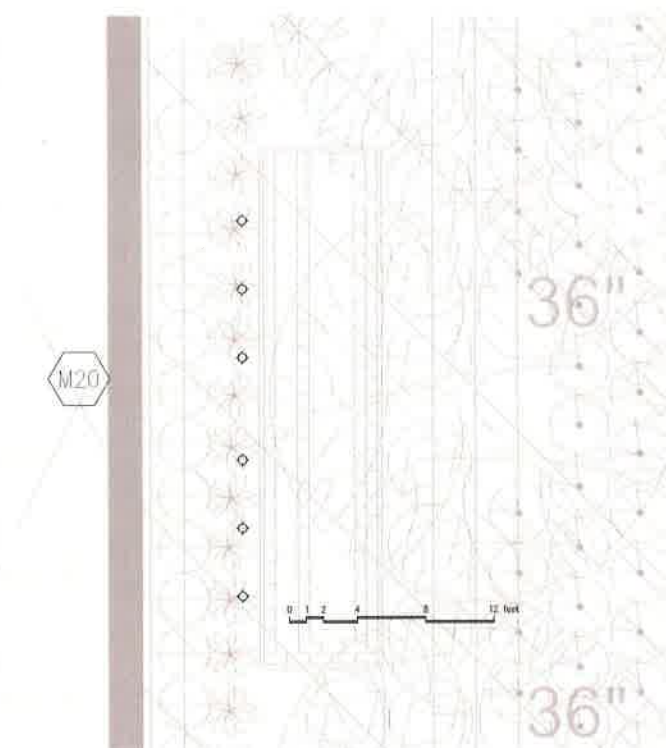
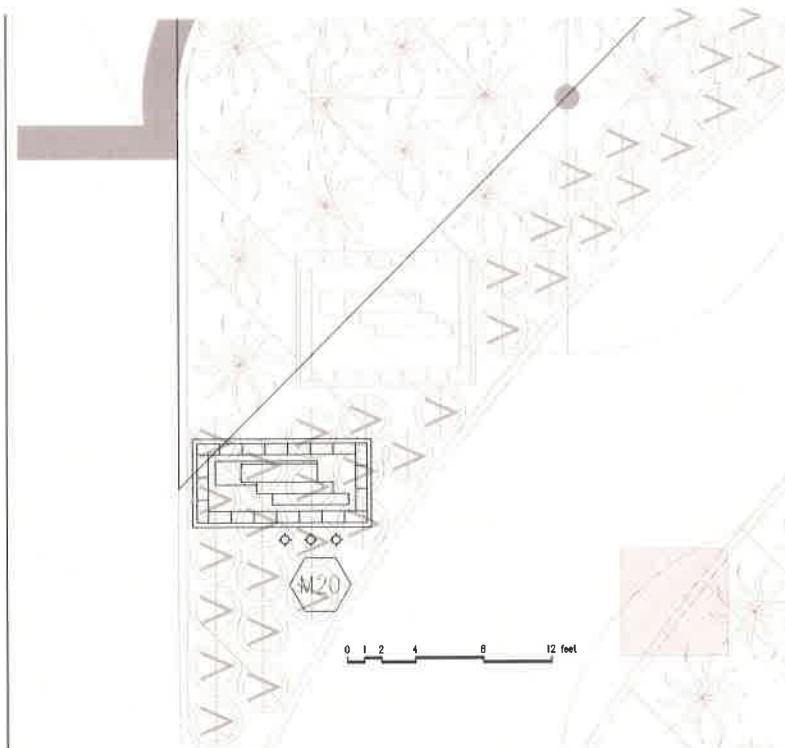
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PL 3.0.9



M20 BK LIGHTING AR-ES35-TR-12-11-A-PP WITH SLI
LIGHTING 20 ES16-MH NFL (40 DEG) LAMP

M21 BK LIGHTING AR-ES35-TR-12-11-A-PP WITH SLI
LIGHTING 20 ES16-MH- FL (25 DEG) LAMP

NOTES:

REFER TO FABRICATORS' DETAILS FOR LIGHTING LOADS
INSIDE ALL SIGNAGE ELEMENTS.

FINAL LOCATION OF M20 AND M21 LUMINAIRES PENDING COORDINATION WITH LANDSCAPE DRAWINGS, AND PENDING FINAL SIGNAGE DESIGN DETAILS.



CANDELA

Architectural Lighting Consultants
720 Olive Way • Suite 1400
Seattle, WA 98101-1853
206/667-0511 • Fax: 206/667-0512
www.candela.com

ELECTRICAL ENGINEERING / TECHNOLOGY CONSULTING

211 SW 5th Avenue
Suite 1379
Portland, Oregon
97204-3919

503-273-0360
800-667-0610
Fax: 503-273-0351
www.garling.com



KEY PLAN

westcor

NOTICE OF PAYMENT PROVISION
THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 30 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES.

OMNIPLAN
ARCHITECTS

1845 Woodliff Rodgers Freeway
Suite 1500
Dallas, Texas 75201
Phone 214.826.7080
Fax 214.826.7016
Copyright © 2005

2777 East Camelback Road
Suite 230
Phoenix, AZ 85016
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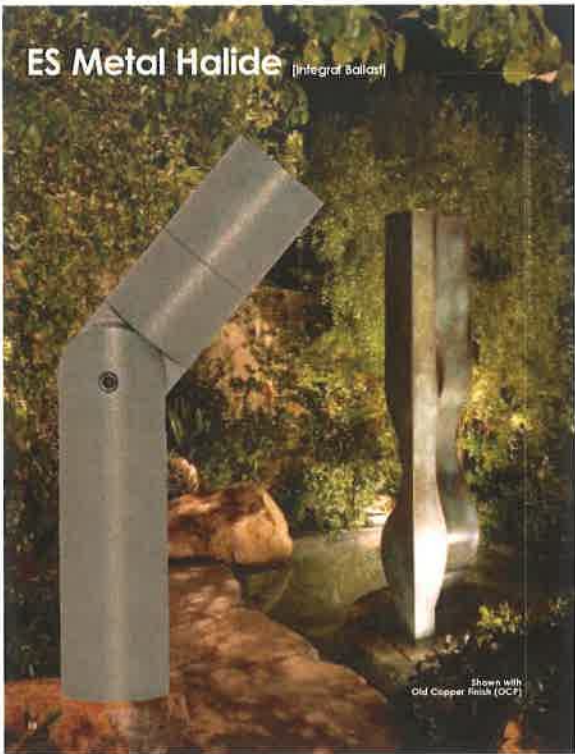


WESTCOR PROPERTIES

SANTAN VILLAGE

SITE
LIGHTING
PLAN
2004.10.00

(ES1.00)



Catalog Number Logic

Material Series Optics Housing Lamp Finish Lens Shielding Cap Style Base Height Input Volts Options
- AR - ES35 - TR - 155 - VER - 9 - 11 - A - 20 - 120 - PP

Blank - Aluminum
B - Brass

AR - ArtiStar™

ES20 - ES16 Metal Halide (20W)
ES35 - ES16 Metal Halide (35W)

TR - Integral Ballast

0 - By Others
158 - (20W), 20ES16/MH/NFL 25° Narrow Flood
159 - (20W), 20ES16/MH/FL 40° Flood
160 - (20W), 20ES16/MH/WFL 60° Wide Flood
155 - (35W), 35ES16/MH/FL 40° Flood
156 - (35W), 35ES16/MH/WFL 60° Wide Flood

Aluminum & Brass Finish		
Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	--
Verde	--	VER

Brass
Machined MAC
Polished POL
Mitique™ MIT

9 - Clear Lens (Standard)
10 - Spread Lens
11 - Honeycomb Baffle
12 - Soft Focus Lens
13 - Rectilinear Lens

11 - Honeycomb Baffle

A - 45°
B - 90°
C - Flush

8 - 8" with Anchor Base (Standard)
14 - 14" with Anchor Base
20 - 20" with Anchor Base
26 - 26" with Anchor Base

120 - 120 Volt
277 - 277 Volt

PP - Power Pipe option with 18" Stake
WM - Wall or Ceiling Mount with 5" dia. canopy*
* Base height limited to 8" max. with brass fixtures.

Specifications

Body: Fully machined from solid, copper-free aluminum. Also available in solid machined brass. Unibody design provides enclosed, water-proof wireway and heat sink to maximize lamp life. Integral knuckle for maximum mechanical strength. High temperature, silicone 'O' Ring provides water-tight seal.

Knuckle: Innovative Knuckle Mounting System allows vertical to horizontal aiming and rotational aiming with positive 'aim-and-lock' technology and provides integral, water-tight wireway.

Cap: Machined from copper-free aluminum. Also available in machined brass. Accommodates up to [2] lens or louver media. Choose from 45° cutoff ('A'), 1" deep bezel with 90° cutoff ('B'), or flush lens ('C'). 'A' and 'B' caps include weep-hole for water and debris drainage.

Base: Machined from copper-free aluminum. Also available in machined brass. Available in 6" standard increments to facilitate fixture elevation above grade. Mounts to anchor base (standard) or to optional Power Pipe™ or canopy for wall or ceiling installation.

Installation: Machined copper-free aluminum mounting base with 1/8" dia. slip conduit hole and [3] 3/8" dia. anchor bolt holes (hardware by others).

Optional 18" Power Pipe™ includes machined 'B' cap for clean architectural transition from stake to fixture. Heavy duty Schedule 80 PVC stake for direct burial into soil or concrete. Optional 5" dia., machined aluminum canopy permits mounting to junction box (gasket by others). Also available in machined brass. 8" maximum base height for brass products when mounted to canopy.

Lens: Shock resistant, tempered, clear glass lens is factory adhered to fixture cap and provides hermetically sealed optical compartment.

Lamp: For use with 35 watt maximum, GX10 base, ES16 metal halide lamps.

Ballast: Integral, electronic metal halide ballast. 120V, or 277V primary voltage.

Wiring: Teflon® coated wire, 18AWG, 600V, 250° C rated and certified to UL 1659 standard.

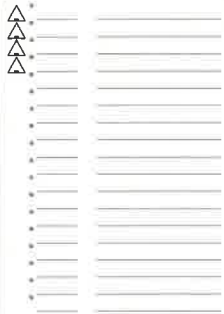
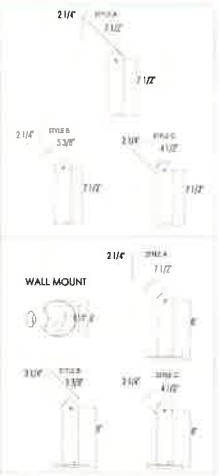
Hardware: Tamper-resistant, stainless steel hardware knuckle adjustment screws are additionally black oxidized.

Finish: StarGuard® (Pat. Pend.), a 15 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class 'A' TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish.

Warranty: 5 year limited warranty.

Listings: ARL and CSA listed.

For lamp information, see page 20.



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206/667-0511 • Fax: 206/667-0512
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111 9th Ave. S.
Suite 107
Portland, Oregon 97204-3813
503-275-0266
503-275-0267
www.speccing.com



KEY PLAN
westcor

NOTICE OF PAYMENT PROVISION
THIS CONTRACT AGREES THE OWNER TO MAKE PAYMENT WITHIN 30 DAYS AFTER RECEIPT OF INVOICES AND APPROVAL OF BILLINGS AND ESTIMATES.

OMNIPLAN
ARCHITECTS
1845 Woodlawn Drive
Suite 1500
Dallas, Texas 75201
Phone: 214/826-7080
Fax: 214/826-7016
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3777 East Camelback Road
Suite 220
Phoenix, AZ 85016
Phone: 602/441-0331
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WESTCOR PROPERTIES

SANTAN VILLAGE

SITE
LIGHTING
CUTSHEETS

20041010



Design Intent

100% Design Intent Set



SanTan Village

PROJECT

Westcor

OWNER

JD 2450
TEAM JOB NO

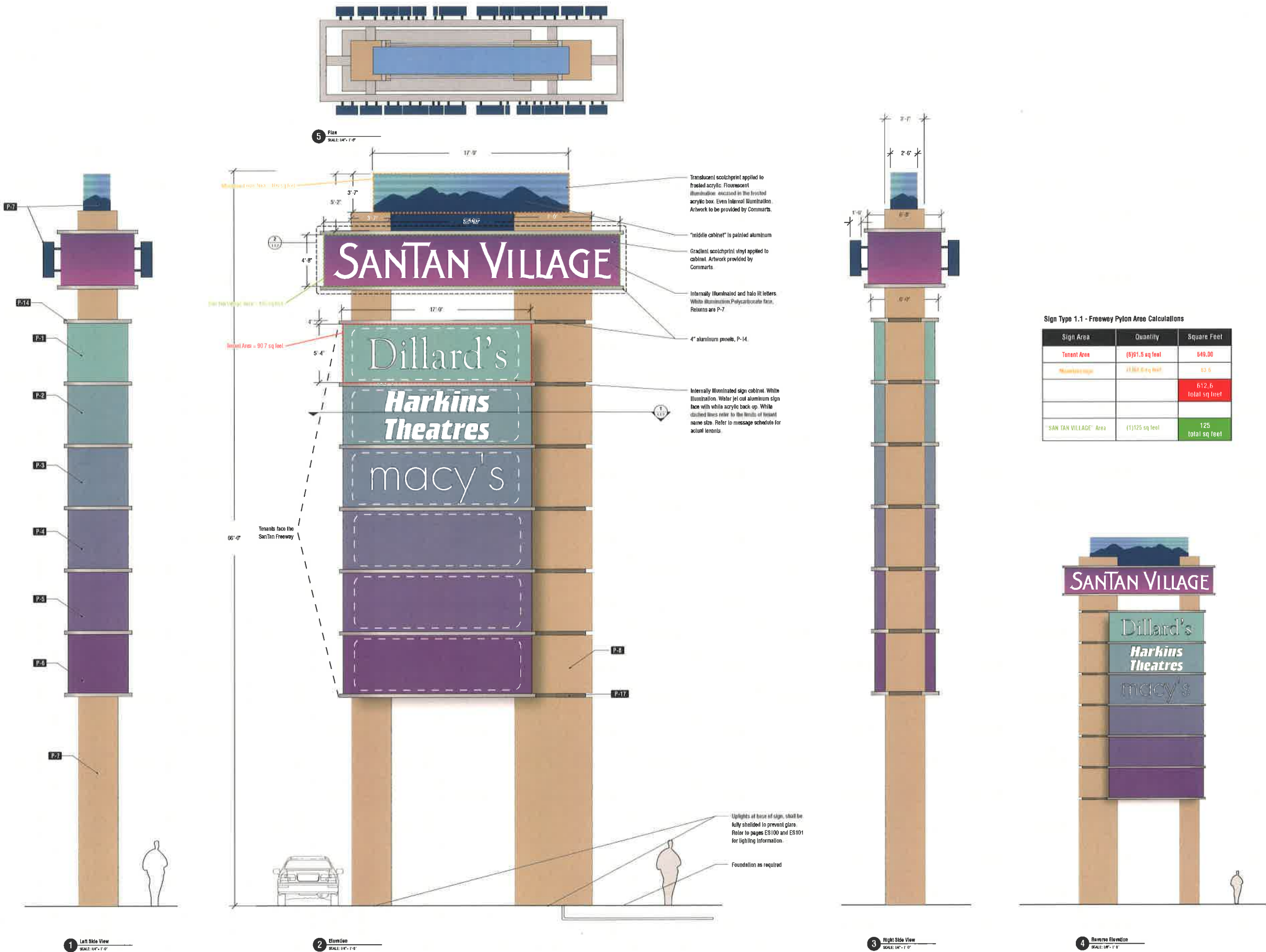
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△	30 Sept, 2006 - DRB

Sign Type 1.1 -
Pylon Sign

GR 1.1.1






SantaN Village
PROJECT

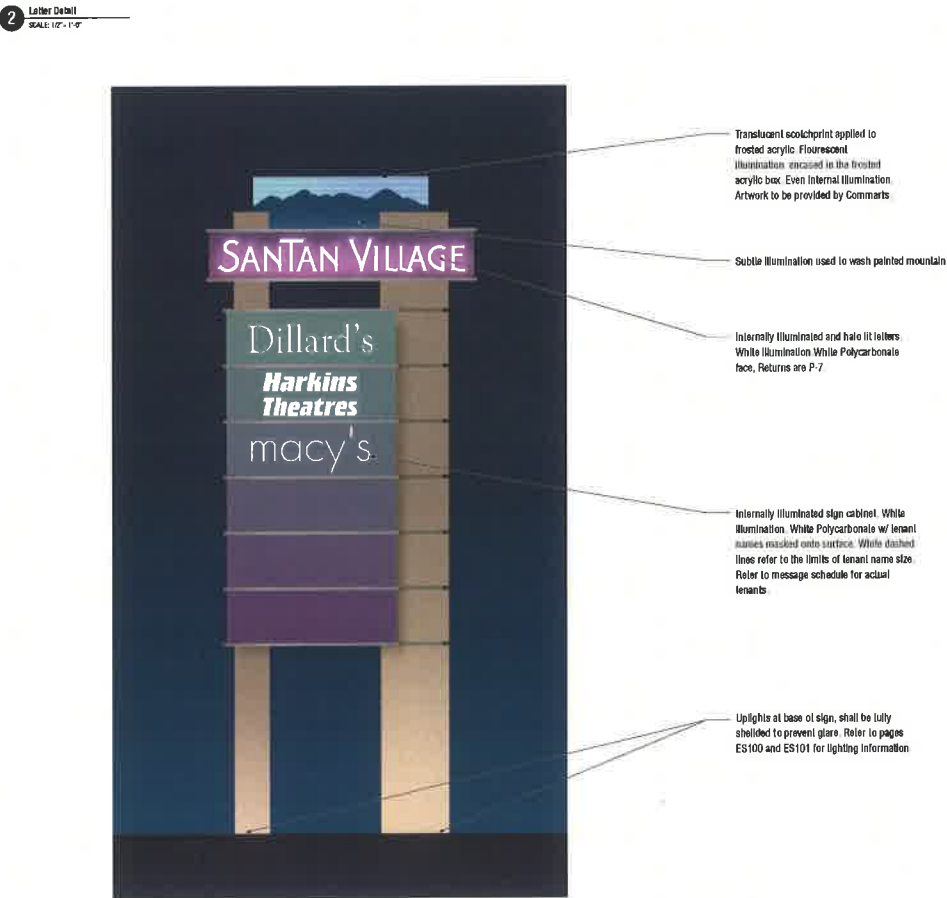
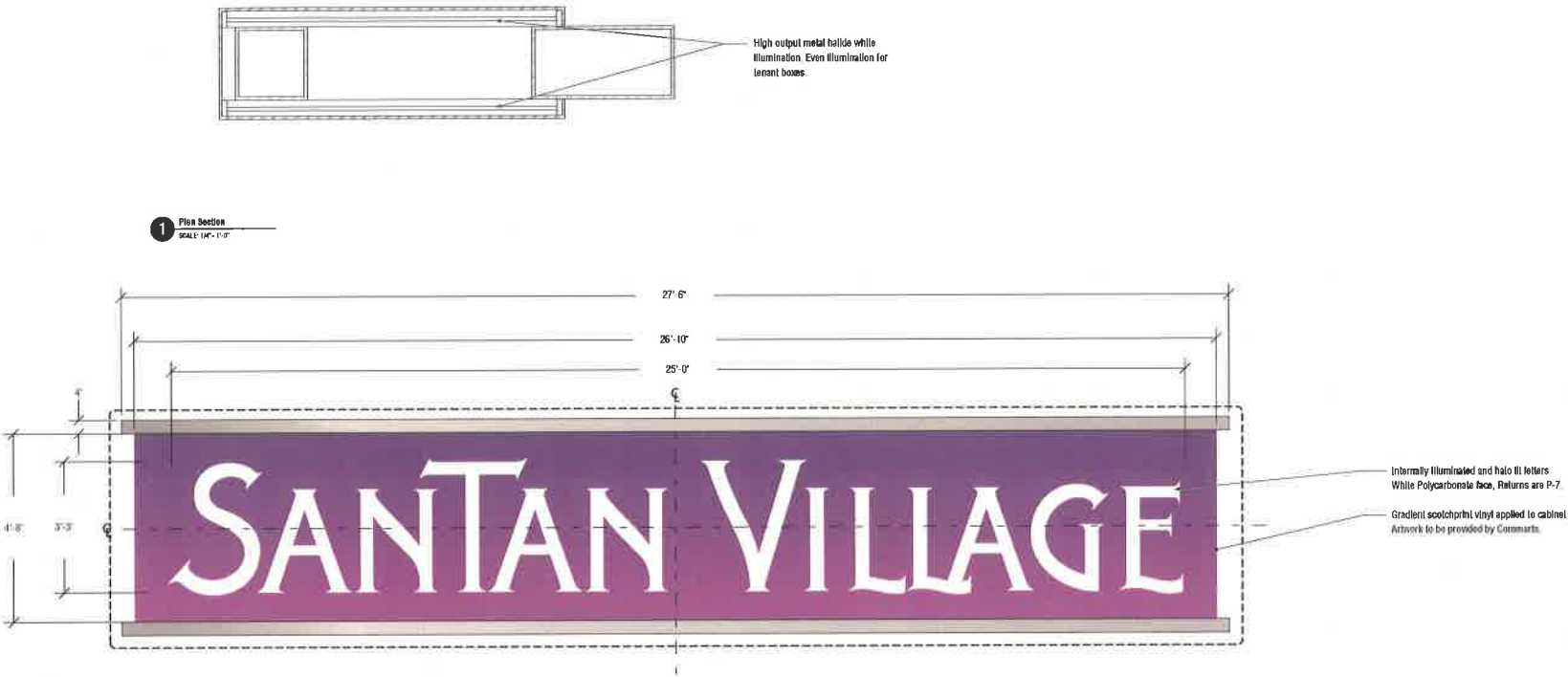
Westcor
OWNER

JD 2450
TEAM JOB NO

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**Sign Type 1.1 -
Pylon Sign**



3 **Evening Elevation**
SCALE: NTS

Design Intent

100% Design Intent Set

SANTAN VILLAGE

SanTan Village

PROJECT

Westcor

OWNER

JD

2450

TEAM

JOB NO

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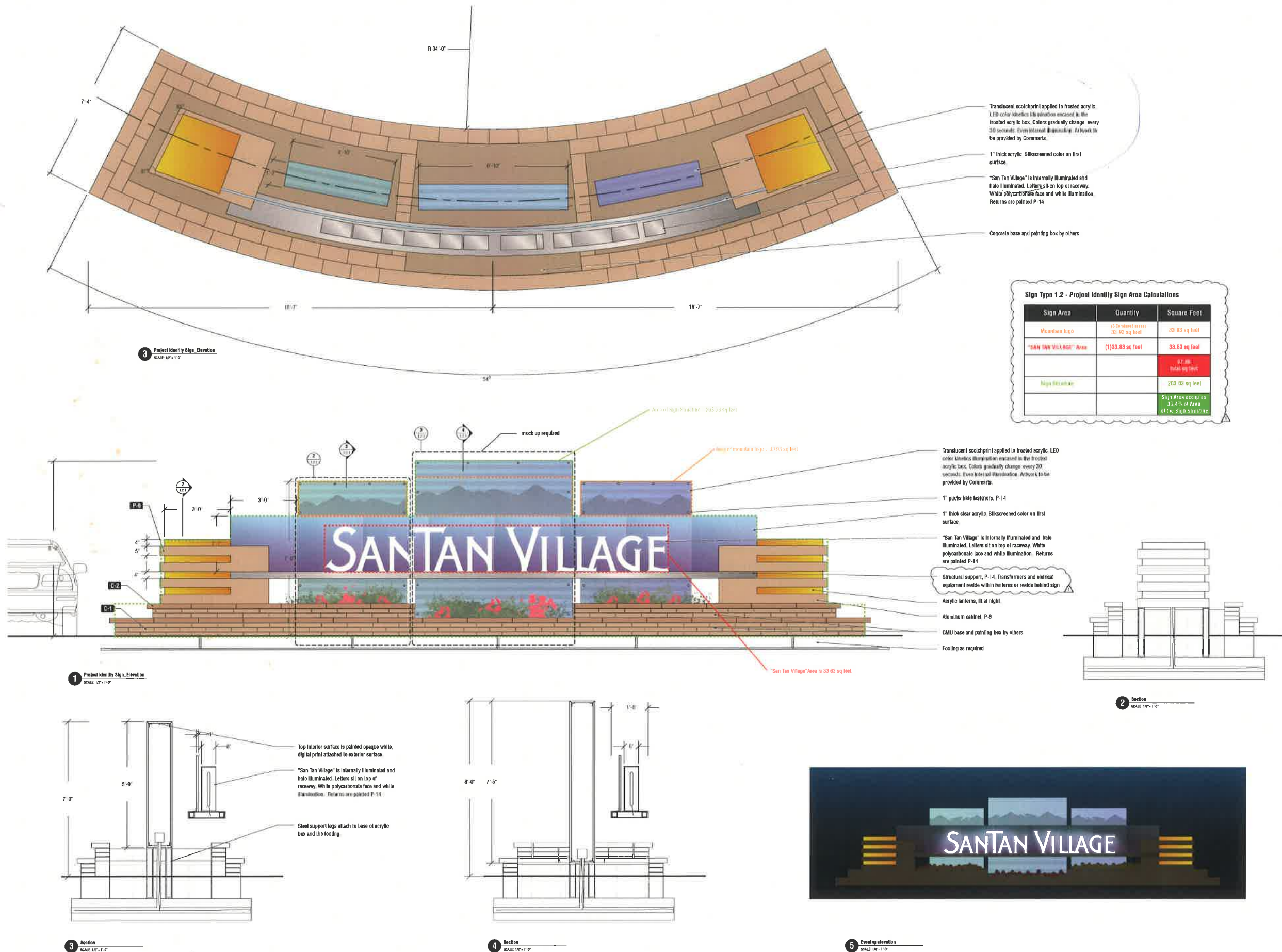
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Sign Type 1.2 - Project Identity Sign

GR 1.2.1



Design Intent
100% Design Intent Set



Santan Village
PROJECT

Wasteor
OWNER

JD 2450
TEAM JOB NO

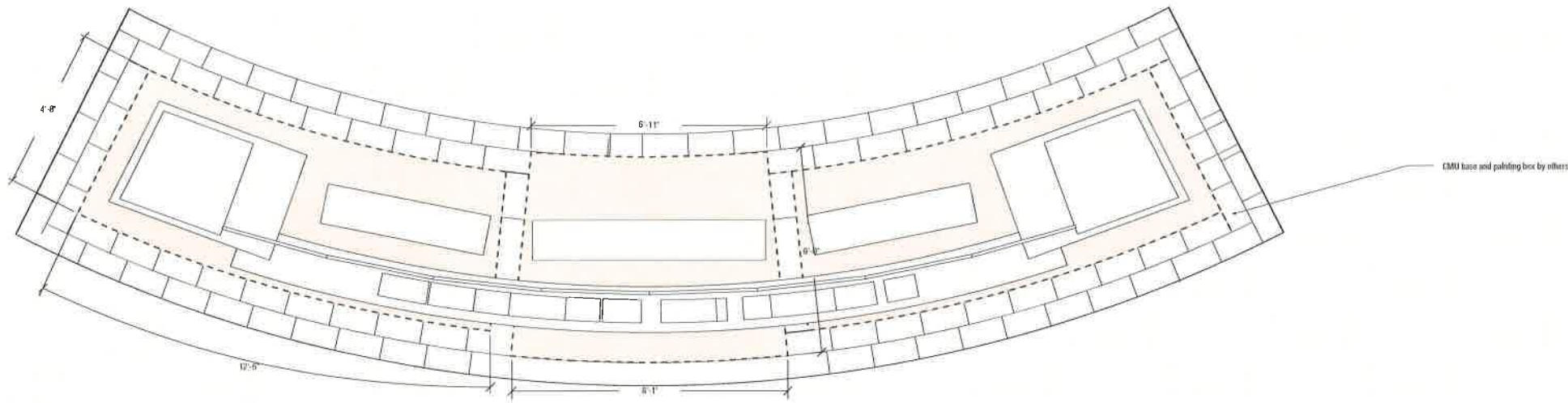
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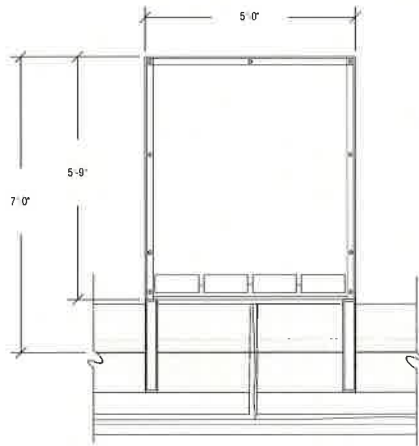
ORIGINAL ISSUE:	22 June, 2006
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Sign Type 1.2 -
Project Identity Sign
Details

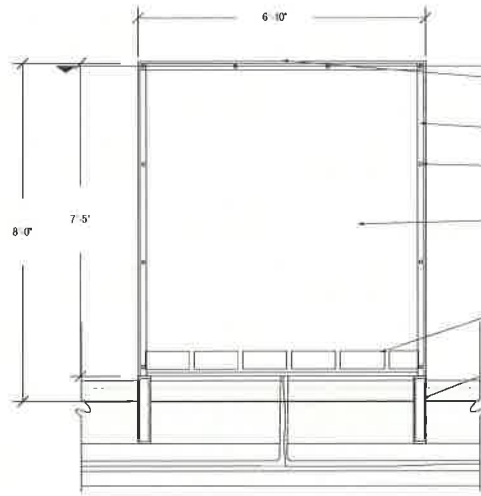
GR 1.2.2



1 Planting Box Dimensions
SCALE: 1/2" = 1'-0"



2 Acrylic Box Section, Internal Frame
SCALE: 1/2" = 1'-0"



3 Acrylic Box Section, Internal Frame
SCALE: 1/2" = 1'-0"

Top interior surface is painted opaque white, digital print attached to exterior surface.

3/4" x 1/2" square aluminum tube or bracket.

Mechanical fasteners attach acrylic face to interior tube structure. 1" pucks attach to mechanical fasteners.

1" Acrylic face at all 4 sides and top with mirrored edges. Translucent digital print applied first surface.

Color Kinetics colourburst 12 powercore. Number of fixtures as required for even illumination.

Steel support legs attach to base of acrylic box and the footing.

NOTE: May need horizontal diffuser over color Kinetics fixtures.

4 Section
SCALE: 1/2" = 1'-0"



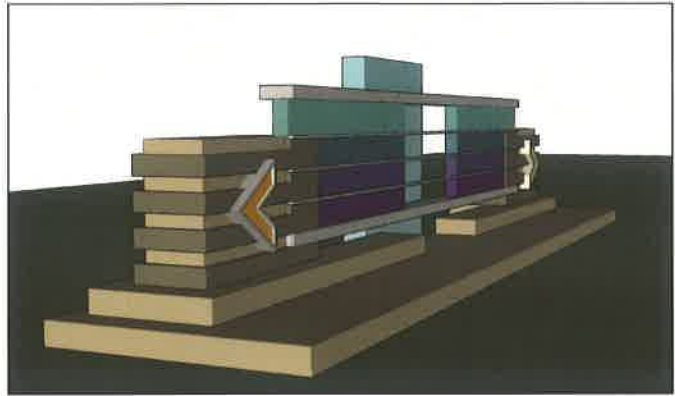
4 Translucent Vinyl Graphic layout
SCALE: 1/2" = 1'-0"

Sign Type 1.2 - Examples of Color Kinetics at Night

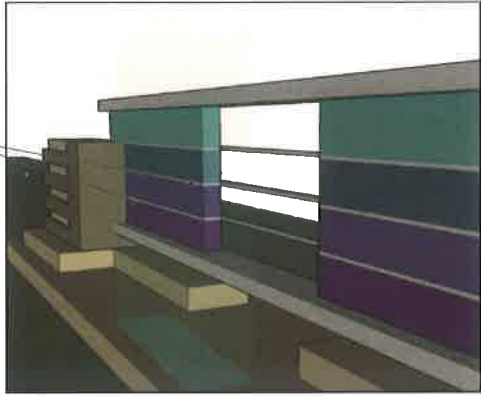


NOTE:
Actual night time colors cannot be chosen until mockup is made, and looked at in the field.

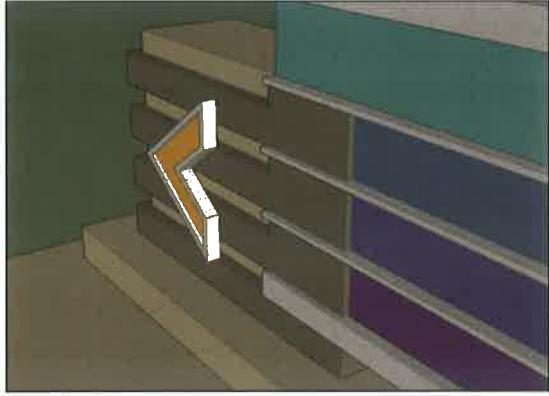




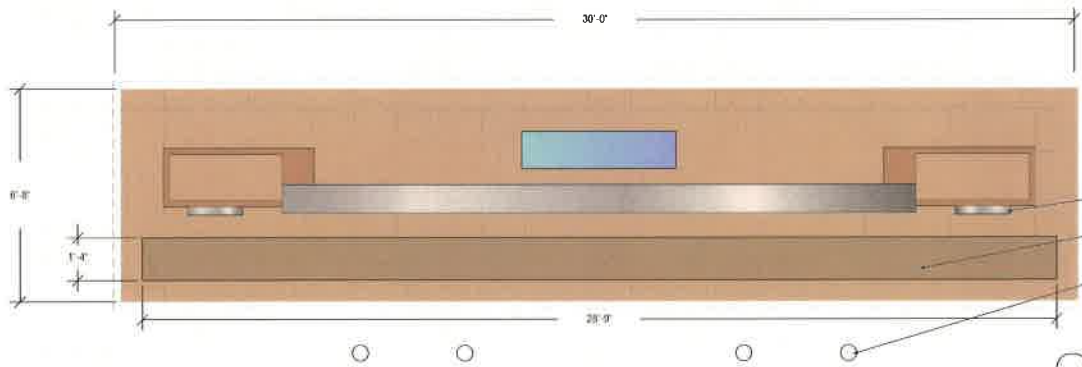
8 Perspective
SCALE NTS



9 Back Perspective
SCALE NTS



10 Detail of arrow and spanning bars
SCALE NTS

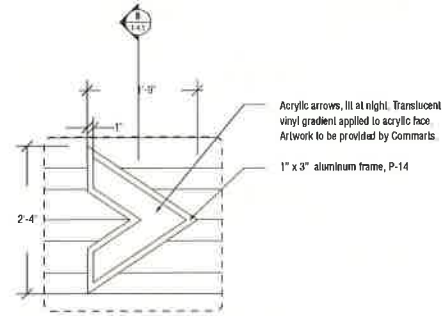


5 Plan View
SCALE 3/4" = 1'-0"

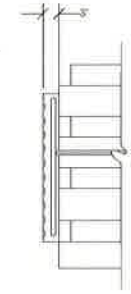
Acrylic arrows, III at night
Painting box
Uplights

Sign Type 1.4 - Vehicular Directional Sign Area Calculations

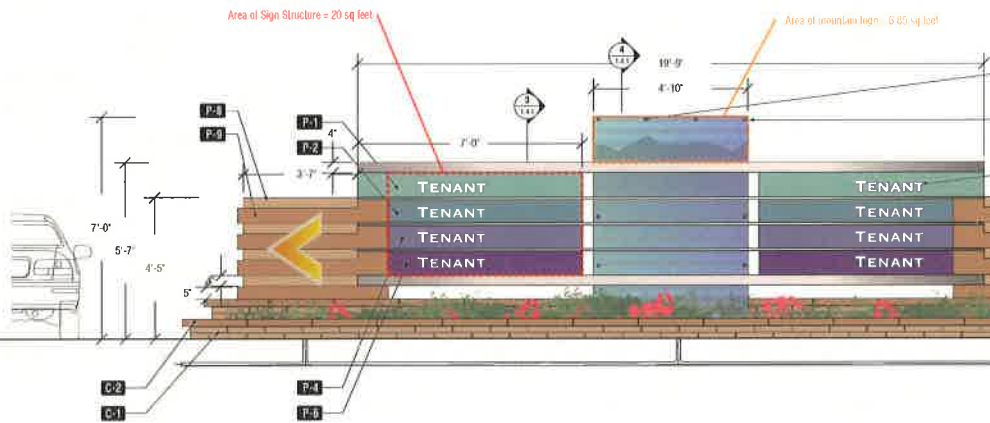
Sign Area	Quantity	Square Feet
Mountain logo	(1) 6.85 sq feet	6.85 sq feet
Sign Area	(2) 20.00 sq feet	40.00 sq feet
		46.85 total sq feet



6 Arrow Detail
SCALE 3/4" = 1'-0"



7 Arrow Section
SCALE 3/4" = 1'-0"



1 Vehicular Directional Signage Elevation
SCALE 3/4" = 1'-0"

Translucent scrimprint applied to frosted acrylic. LED illumination encased in the frosted acrylic box. Even internal illumination. Artwork to be provided by Comments.

1" picks hide fasteners, P-14

Tenant names are V-1

Aluminum cabinets

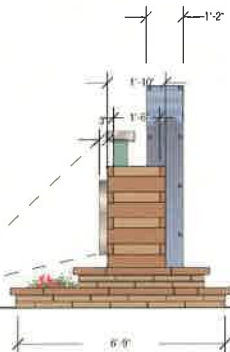
1" x 2 1/2" aluminum bars, P-14

Acrylic arrows and lantern, III at night

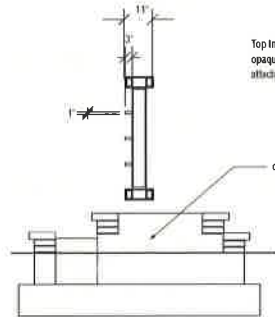
Uplights at base of sign, shall be fully shielded to prevent glare, provide illumination for tenant names at night. Refer to pages ES100 and ES101 for lighting information.

CMU/concrete base and painting box by others

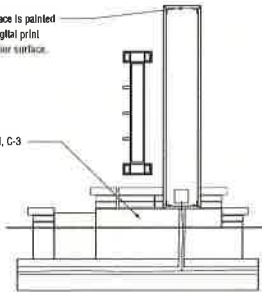
Footings as required



2 Side View
SCALE 3/4" = 1'-0"



3 Section
SCALE 3/4" = 1'-0"



4 Bottom
SCALE 3/4" = 1'-0"

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ORIGINAL ISSUE:	22 June, 2006
REVISIONS:	
30 Sept, 2006 - DRB	

Sign Type 1.4 -
Vehicular Directional
Signage

Design Intent

100% Design Intent Set



Santan Village

PROJECT

Westcor

OWNER

JD

2450

TEAM

JOB NO

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ORIGINAL ISSUE: 22 June, 2006

REVISIONS:

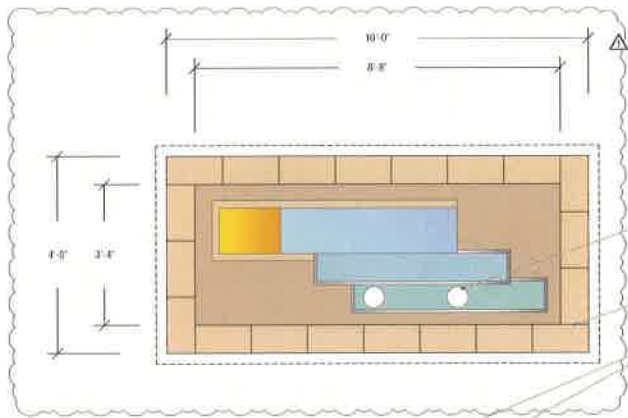
△	30 Sept, 2006 - DRB

Sign Type 1.5 -
Directional Pylon

GR 1.5.1

Sign Type 1.5 - Directional Pylon Sign Area

Sign Area	Square Feet
sign area 1	11.25 sq. feet
sign area 2	19.12 sq. feet
Monument Sign	6.25 sq. feet
	37.12 total sq. feet



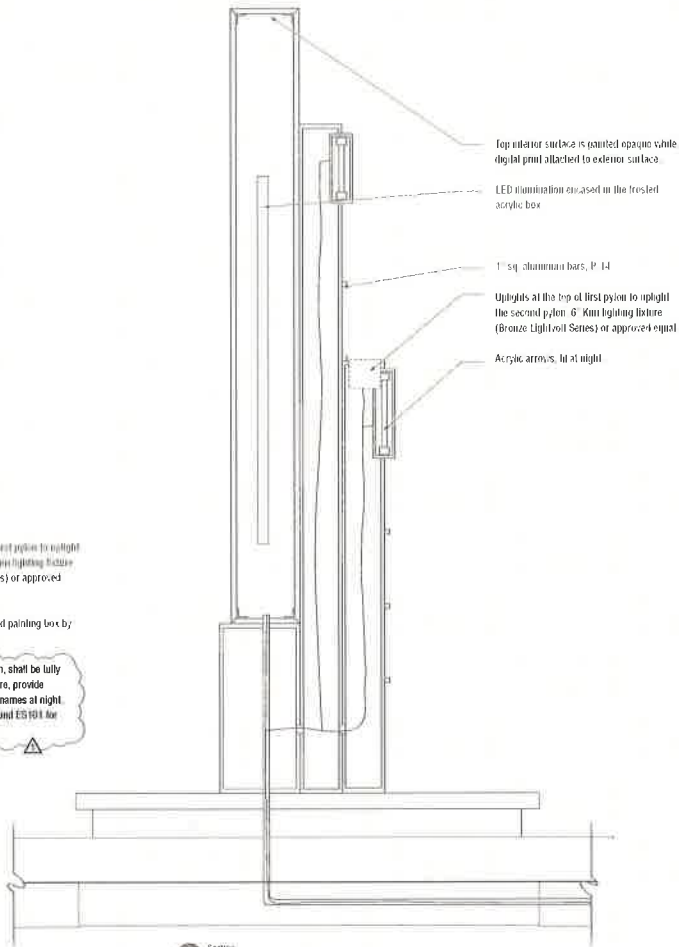
4

Plan
Scale: 1/8" = 1'-0"

Uplights at the top of first pylon to uplight the second pylon. 6" Kim lighting fixture (Bronze Lightwell Series) or approved equal.

CMU/Concrete base and painting box by others.

Uplights at base of sign, shall be fully shielded to prevent glare, provide illumination for tenant names at night. Refer to pages ES100 and ES101 for lighting information.



5

Section
Scale: 1/8" = 1'-0"

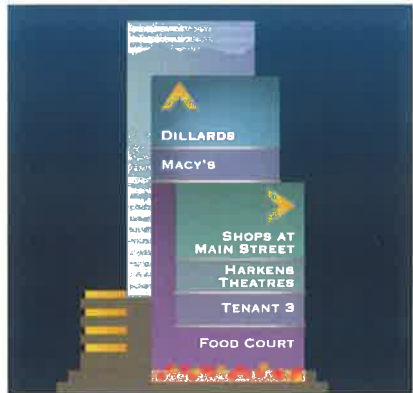
Top interior surface is painted opaque white digital print attached to exterior surface.

LED illumination encased in the frosted acrylic box.

1" sq. aluminum bars, P-14.

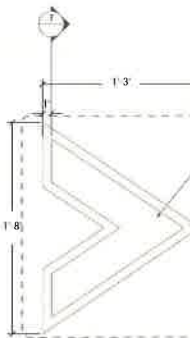
Uplights at the top of first pylon to uplight the second pylon. 6" Kim lighting fixture (Bronze Lightwell Series) or approved equal.

Acrylic arrows, lit at night.



8

Evening elevation
Scale: 1/8" = 1'-0"

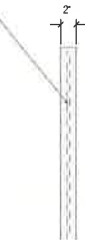


6

Arrow Detail
Scale: 1/8" = 1'-0"

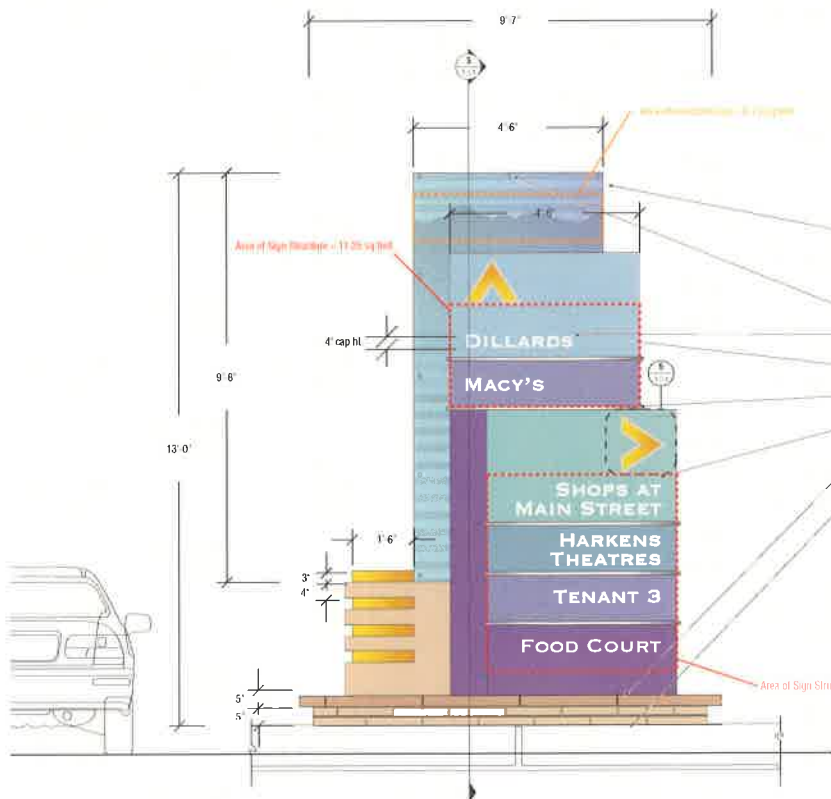
Acrylic arrows, lit at night. Translucent vinyl gradient applied to acrylic face. Artwork to be provided by Commarts.

1" x 2" aluminum frame, P-11.



7

Arrow Detail
Scale: 1/8" = 1'-0"



1

Directional Pylon Elevation
Scale: 1/8" = 1'-0"

Gradient silkscreened onto frosted acrylic. LED illumination encased in the frosted acrylic box. Even internal illumination. Artwork to be provided by Commarts.

1" packs hide fasteners, P-14.

Tenant names are V-1.

Aluminum columns.

1" sq. aluminum bars, P-14.

Acrylic arrows and banners, lit at night.

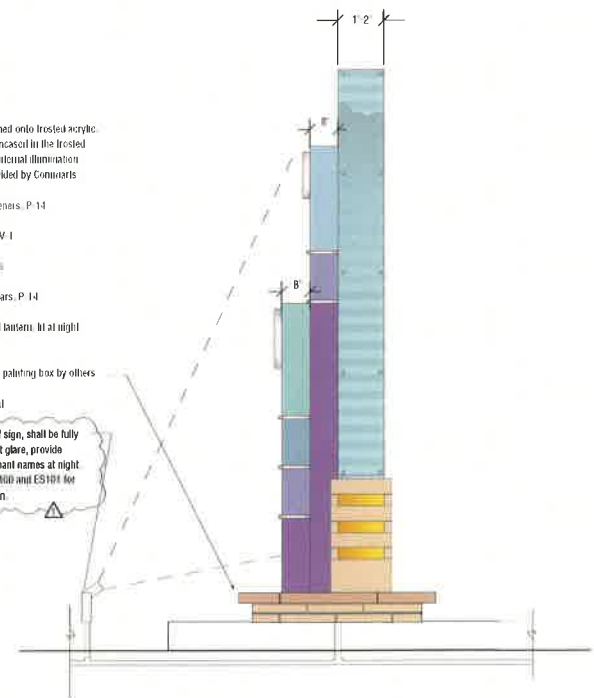
Concrete base and painting box by others.

Finishing as required.

Uplights at base of sign, shall be fully shielded to prevent glare, provide illumination for tenant names at night. Refer to pages ES100 and ES101 for lighting information.

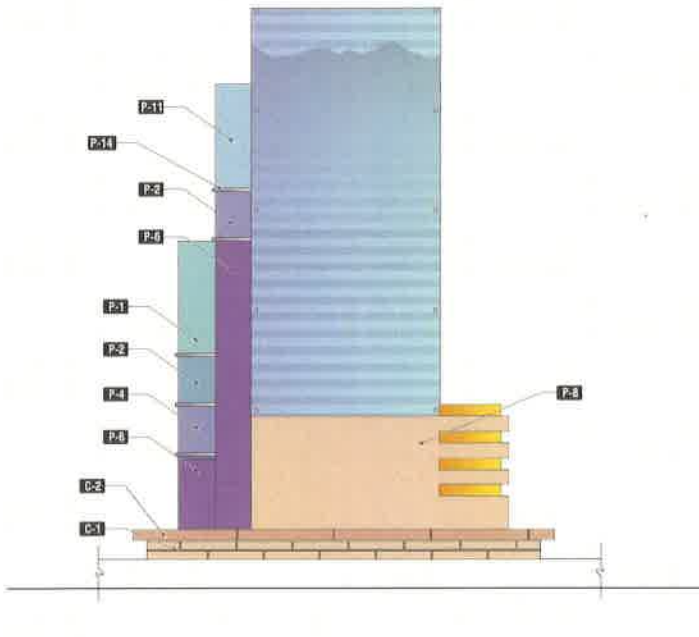
Area of Sign Structure = 19.12 sq. feet

Area of Sign Structure = 11.25 sq. feet



2

Right Side View
Scale: 1/8" = 1'-0"



3

Back Elevation
Scale: 1/8" = 1'-0"

Design Intent

100% Design Intent Set

SANTAN VILLAGE

SanTan Village

PROJECT

Westcor

OWNER

JD

2450

TEAM

JOB NO.

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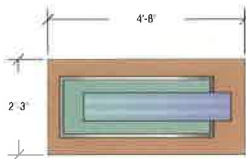
REVISIONS:

30 Sept, 2006 - DRB

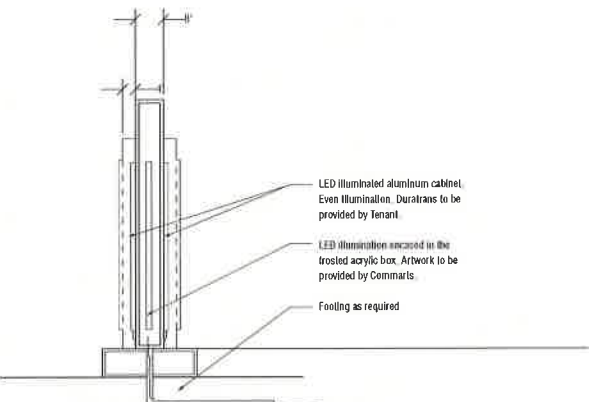
Sign Type 1.6 -
Advertising Identity

Sign Type 1.6 - Advertising Identity Sign Area

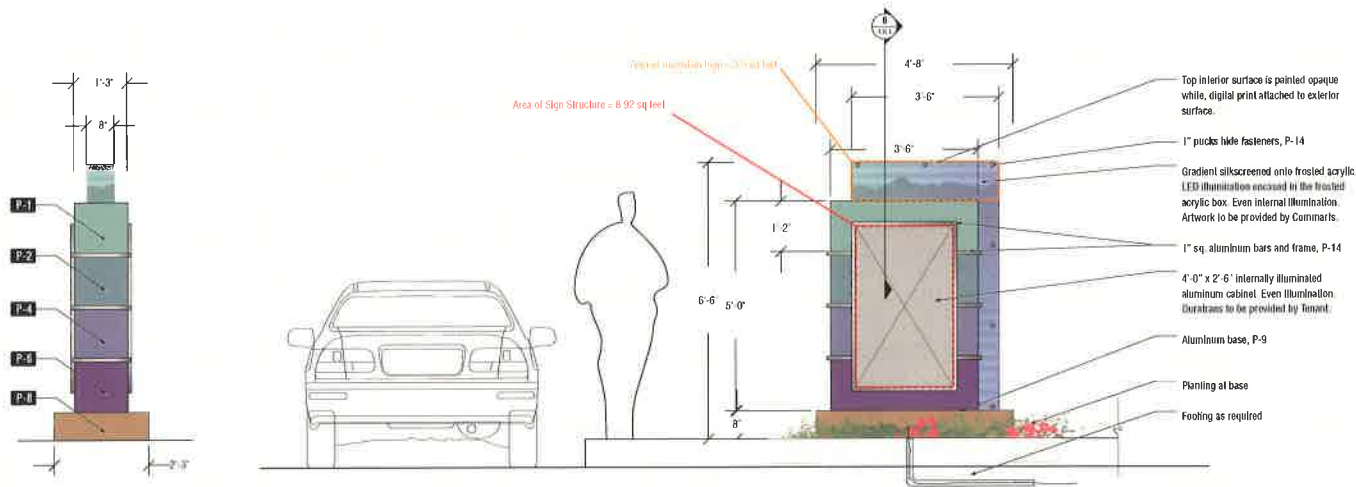
Sign Area	Square Feet
sign area 1	8.92 sq feet
Mountain Range	3.5 sq feet
	12.42 total sq feet



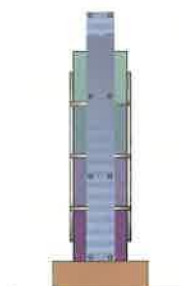
5 Plan
SCALE: 1/2" = 1'-0"



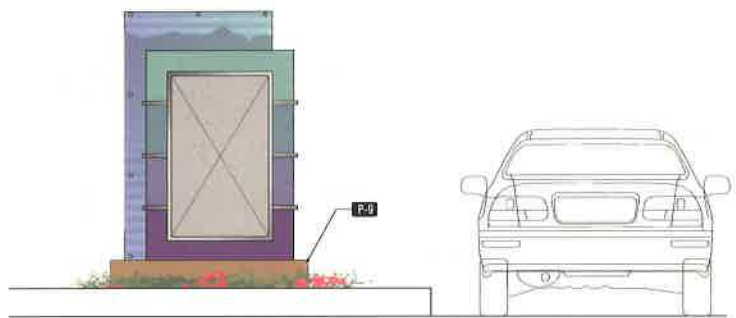
6 Section
SCALE: 1/2" = 1'-0"



1 Left Side View
SCALE: 1/2" = 1'-0"



3 Right Side View
SCALE: 1/2" = 1'-0"



4 Vehicular Advertising Elevation
SCALE: 1/2" = 1'-0"

2 Vehicular Advertising Elevation
SCALE: 1/2" = 1'-0"

Sign Type 1.6 - Examples of Advertising Signs in Other Cities



Boston



Los Angeles



San Francisco



Chicago

Design Intent
100% Design Intent Set

SANTAN VILLAGE

Santan Village
PROJECT

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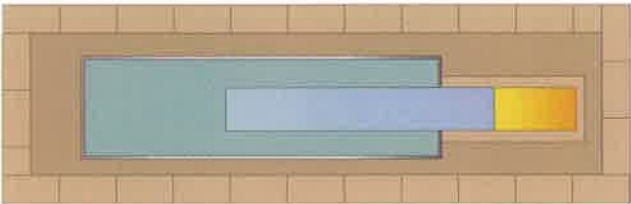
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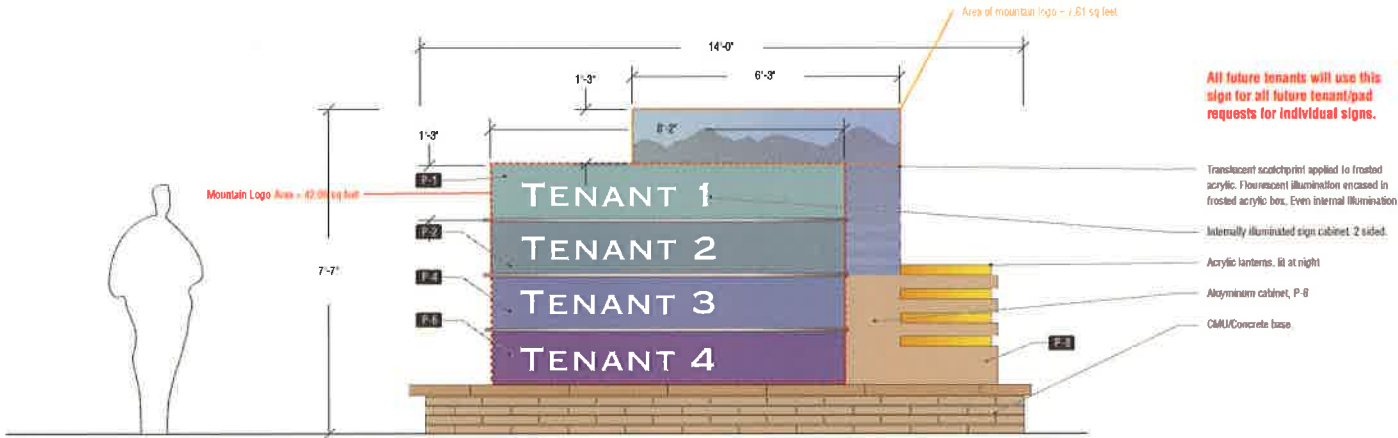
ORIGINAL ISSUE 30 Sept., 2006

REVISIONS:	

Sign Type 1.7 -
Future Tenant
Identification Sign



4 Plan
SCALE: 1/2" = 1'-0"

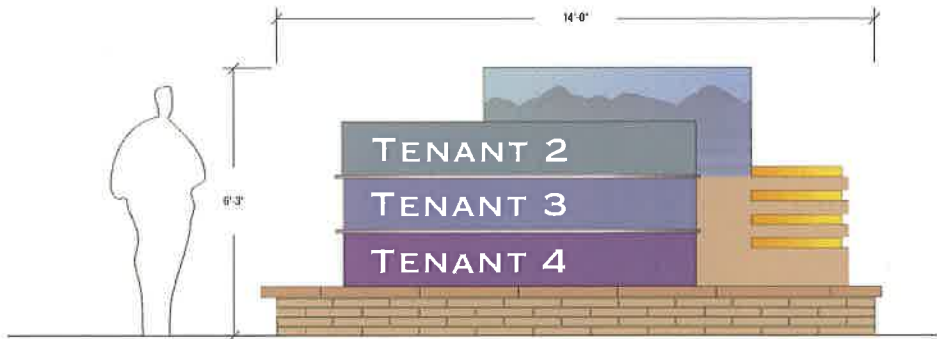


1 Tenant ID Elevation - OPTION A - 4 Tenants
SCALE: 1/2" = 1'-0"

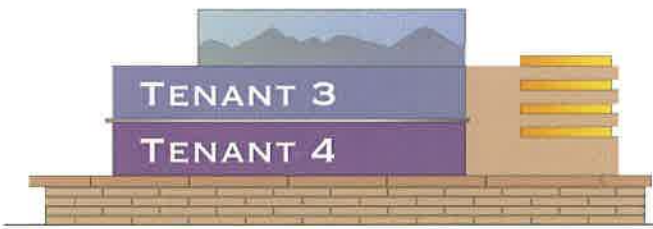
NOTE:
Sign shall be located and conform to regulations set forth in Section 4.467C2: Freestanding Signs of the LDC:
1) Number. One on-site Freestanding Monument Sign is permitted for any lot or parcel within a minimum of 100 feet of street frontage. Parcels with 600 feet of street frontage are permitted 2 Freestanding Monument Signs. One additional Freestanding Monument Sign is permitted for each additional 300 feet of street frontage.
4) Setback. Signs shall be set back a minimum of 3 feet from the right-of-way.
5) Spacing. Signs shall maintain a minimum spacing of 100 feet from any other low-profile freestanding sign on the same street frontage.

Sign Type 1.7 - Future Tenant ID Sign Area Calculations

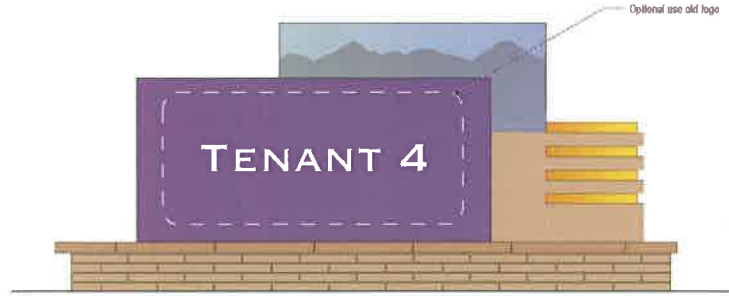
Sign Area	Quantity	Square Feet
Mountain logo	(1) 7.81 sq feet	7.81 sq feet
Sign Area	(1) 42.00 sq feet	42.00 sq feet
		49.81 total sq feet



2 OPTION B - 3 Tenants
SCALE: 1/2" = 1'-0"



3 OPTION C - 2 Tenants
SCALE: 1/2" = 1'-0"



4 OPTION D - 1 Tenant
SCALE: 1/2" = 1'-0"

Design Intent

100% Design Intent Set



Santan Village

PROJECT

Westcor

OWNER

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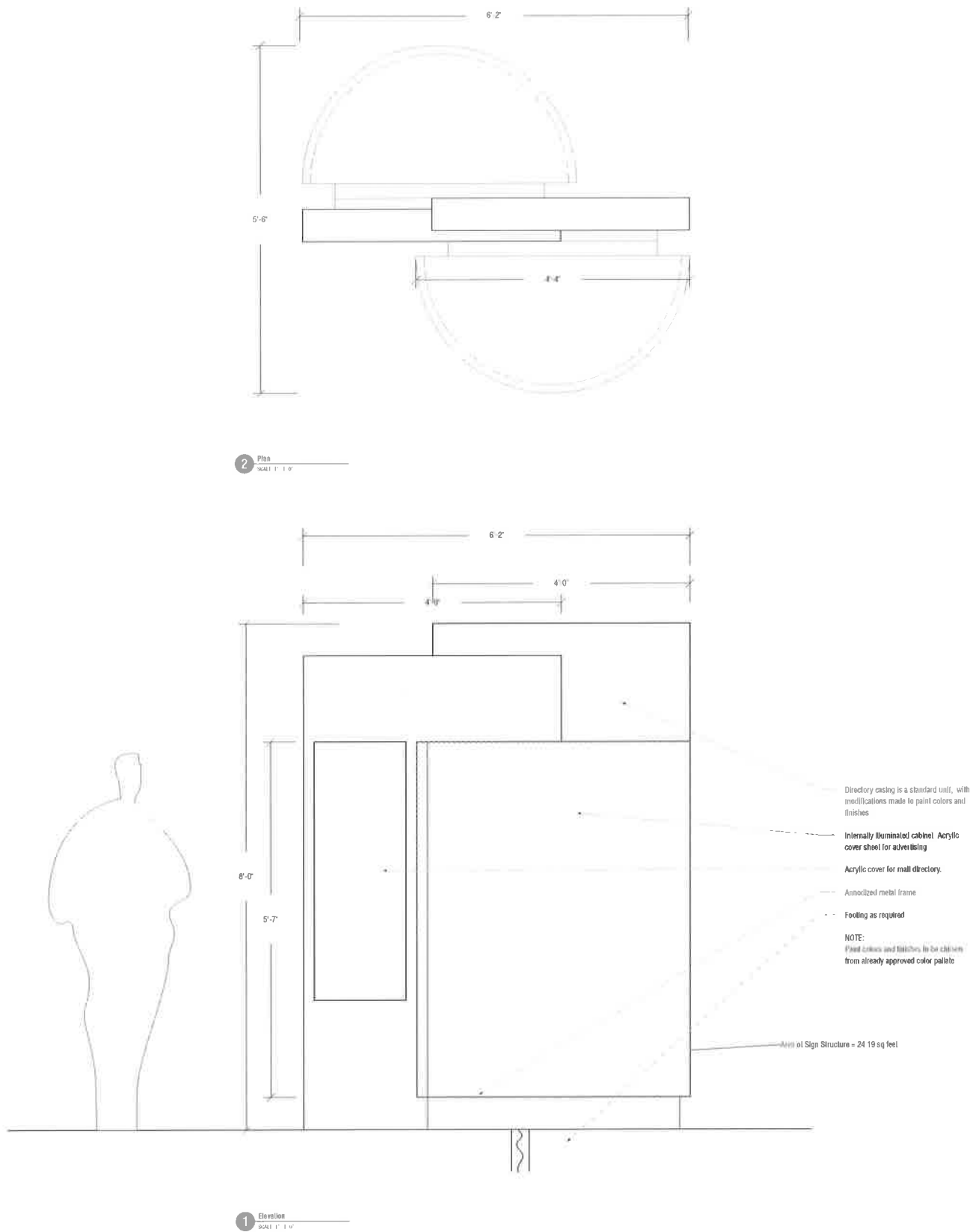
JOB NO.

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Directory Sign




Design Intent
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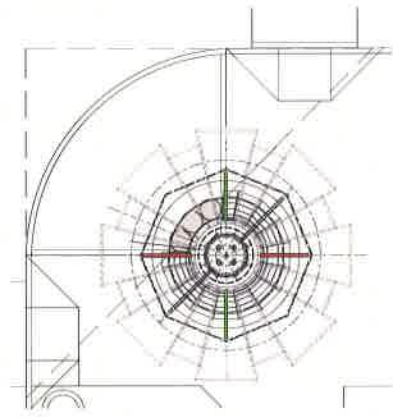
SanTan Village
PROJECT
Westcor
OWNER
JD 2450
TEAM JOB NO

- GENERAL NOTES:**
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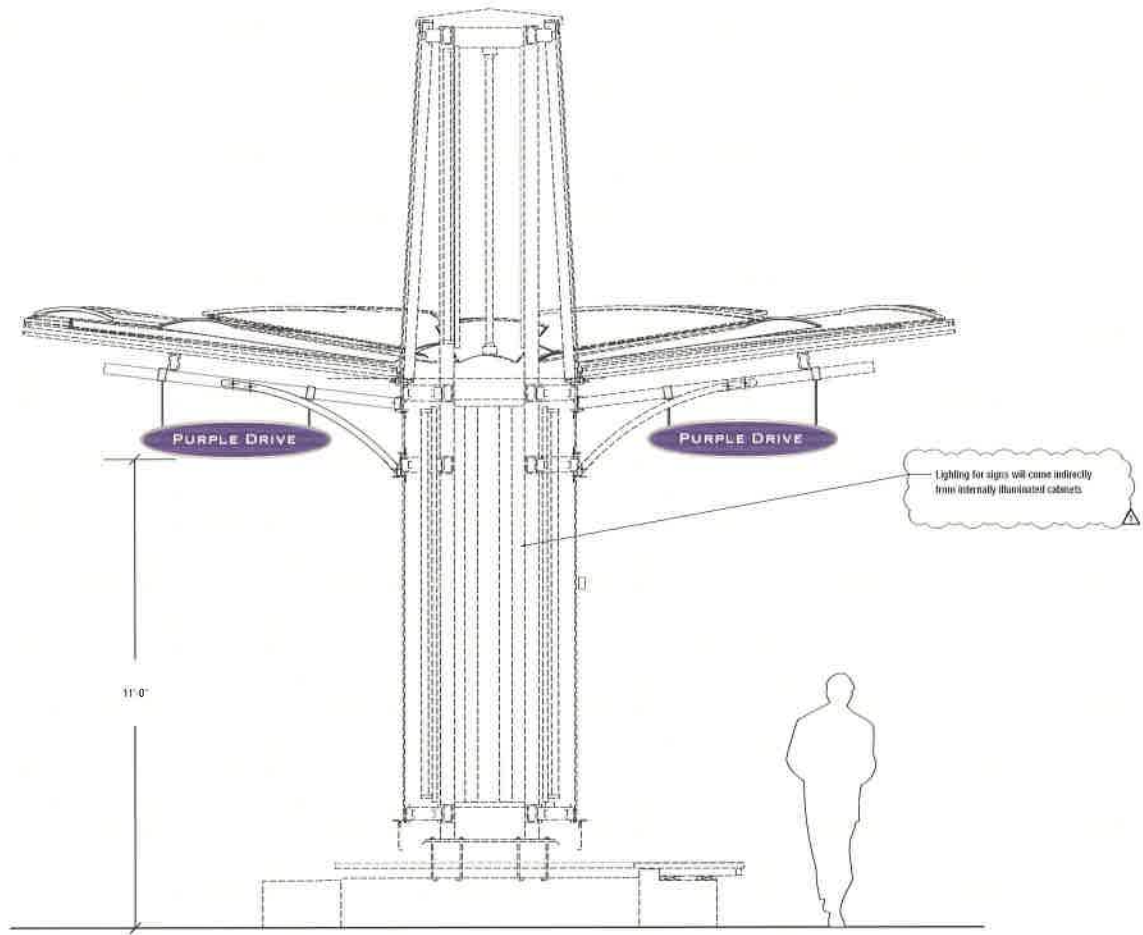
**Sign Type 2.2 -
Intersection Icon
- Street Signs**

GR 2.2.1

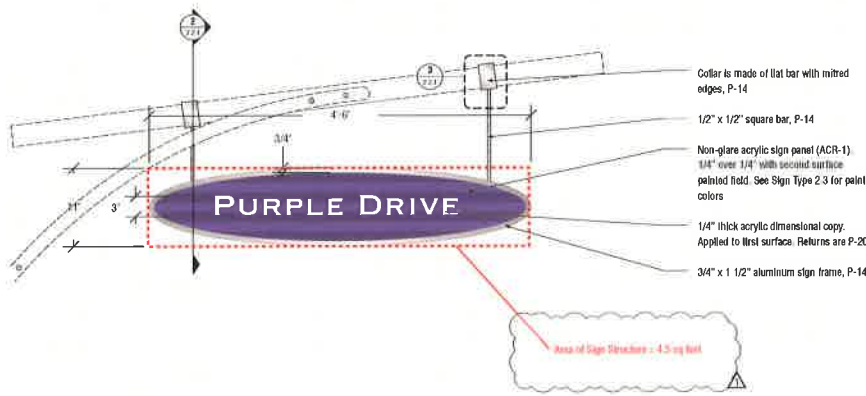


4 Location Plan
SCALE: 1/8" = 1'-0"

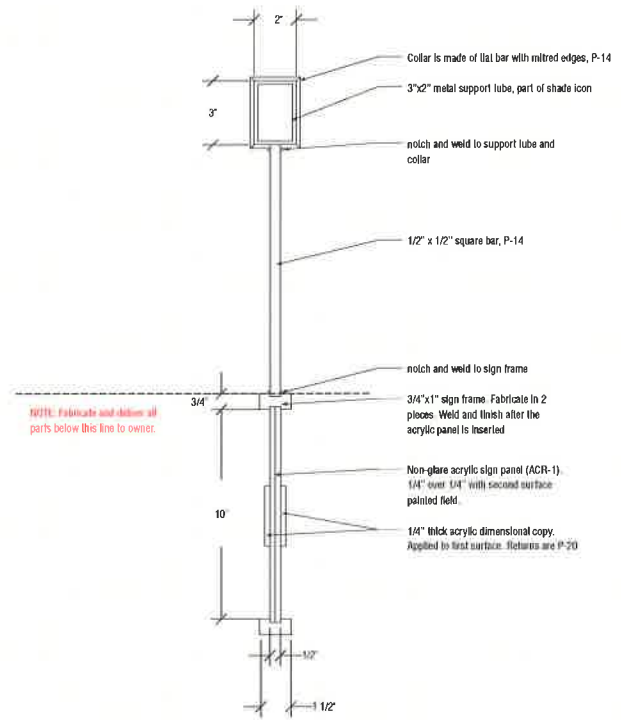
NOTE:
4 signs per shade structure.
2 different street names per location. Refer to message schedule for actual street names.



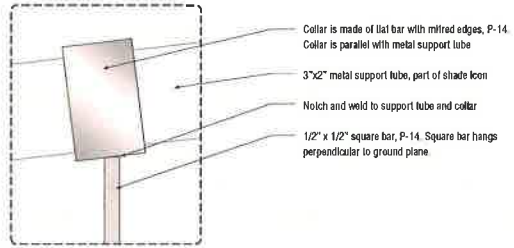
5 Shade Advertising Icon Street Sign Section
SCALE: 1/8" = 1'-0"



1 Street Sign Elevation
SCALE: 1" = 1'-0"



2 Section
SCALE: 1" = 1'-0"



3 Section
SCALE: 1" = 1'-0"

Design Intent

100% Design Intent Set



SanTan Village

PROJECT

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JD 2450

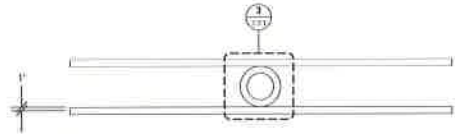
TEAM JOB NO

GENERAL NOTES:

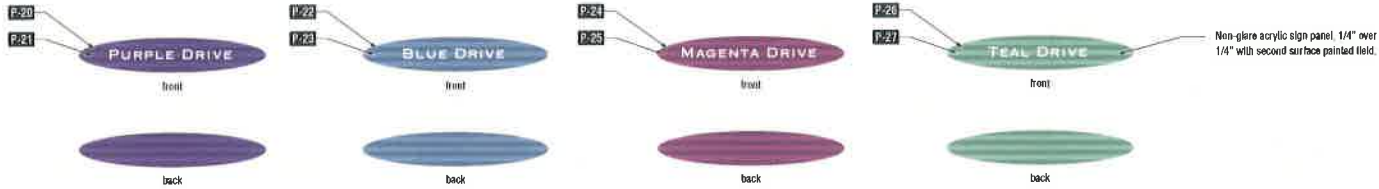
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Sign Type 2.3 -
Pole Mounted Street
Signs

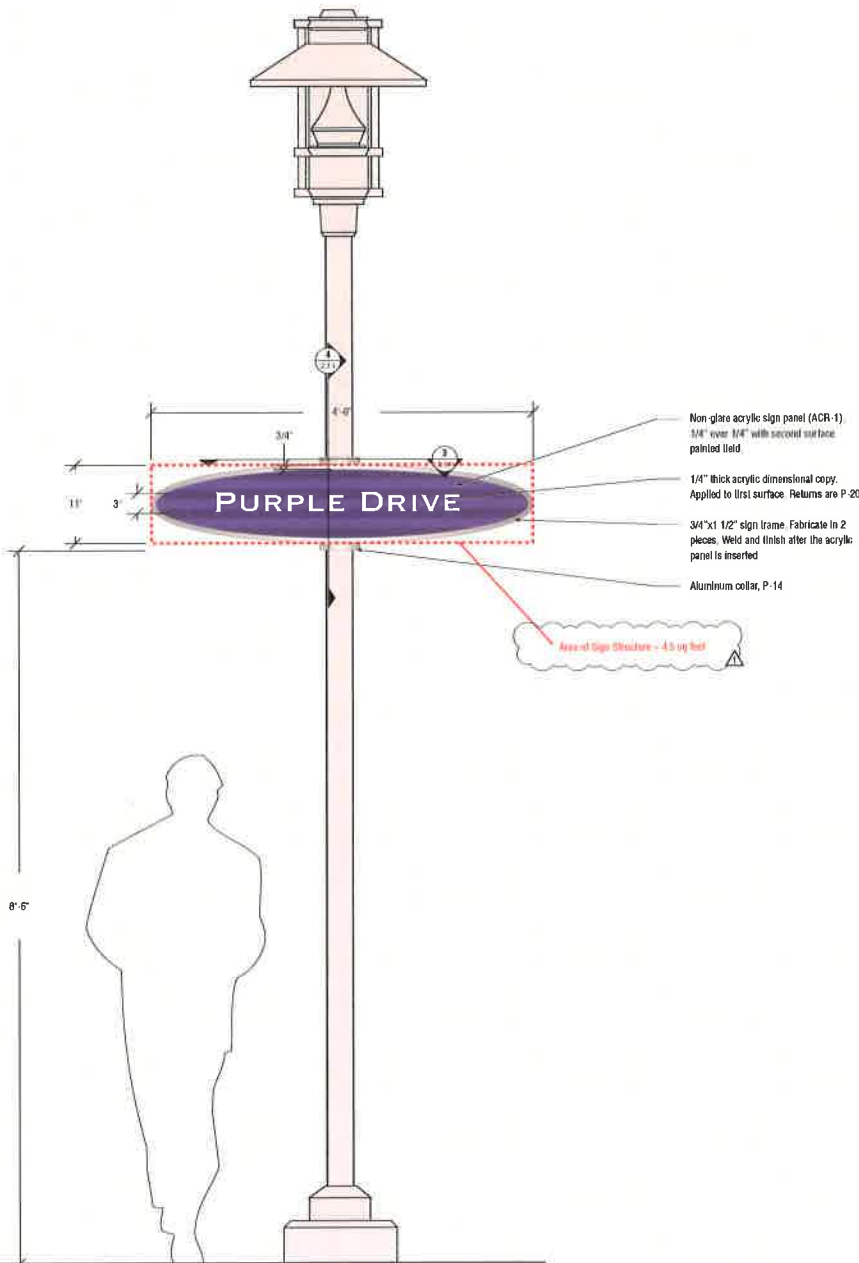


5 Plan Section
SCALE 1" = 1'-0"

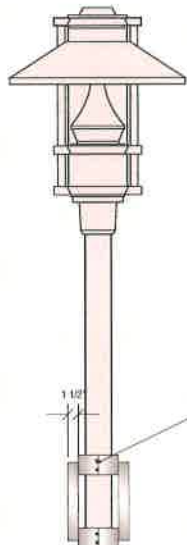


NOTE: Different color per street name.
Refer to message Schedule for actual street names.

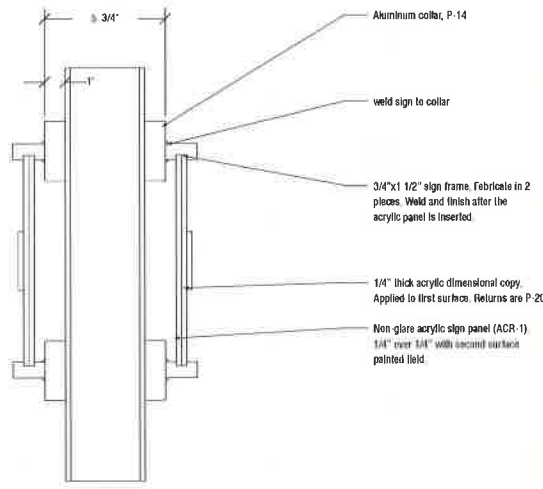
6 Side View
SCALE 1" = 1'-0"



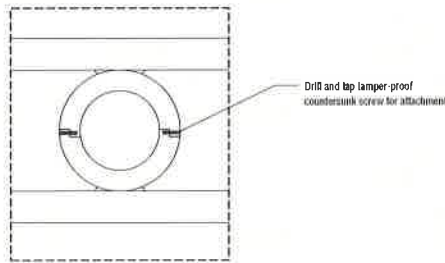
1 Street Sign Elevation
SCALE 1" = 1'-0"



2 Side View
SCALE 1" = 1'-0"



4 Section
SCALE 1" = 1'-0"



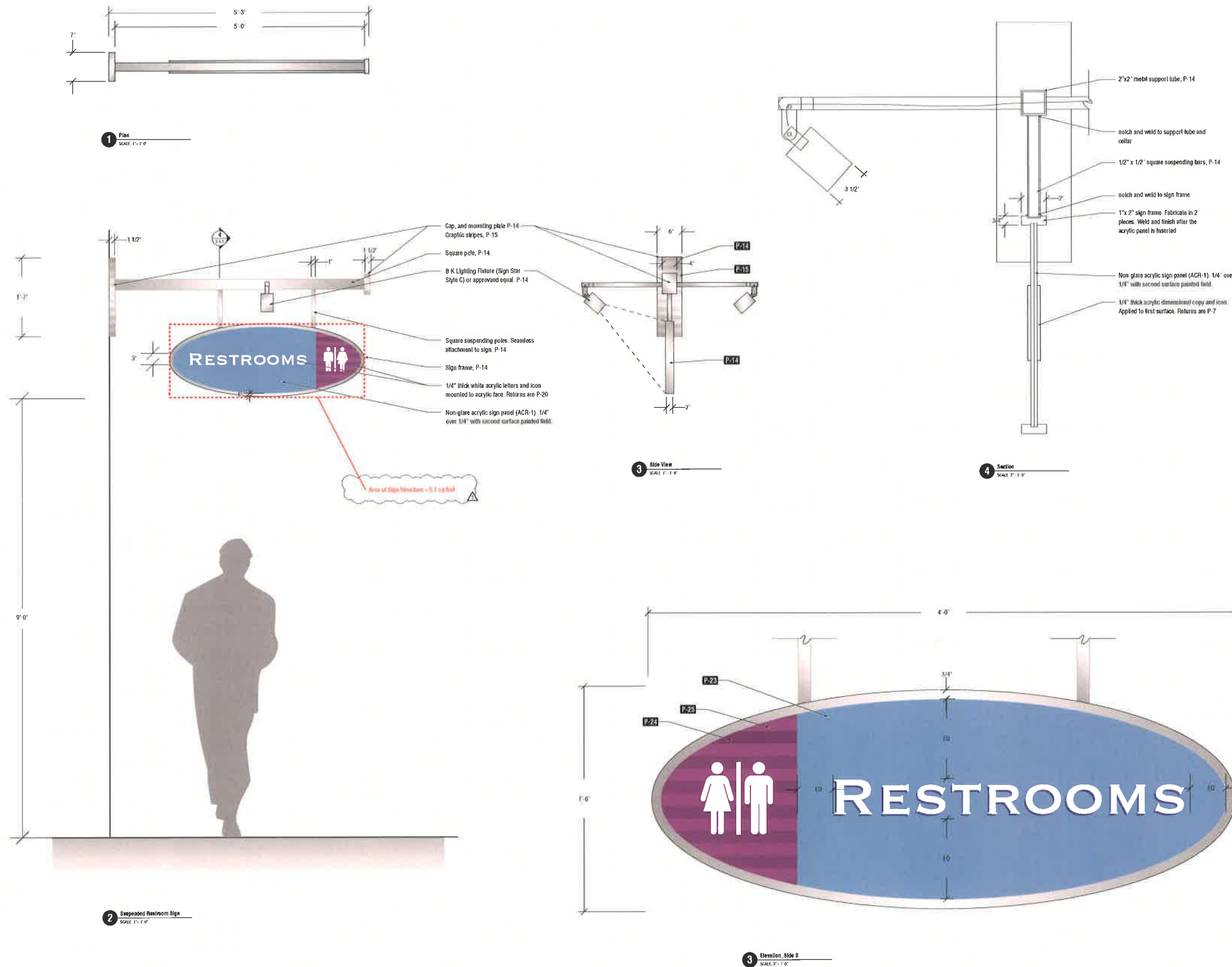
3 Plan Section Detail
SCALE 1" = 1'-0"

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REVISIONS:	
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**Sign Type 2.5a -
Suspended Public
Info Directional
- Lighting Option**



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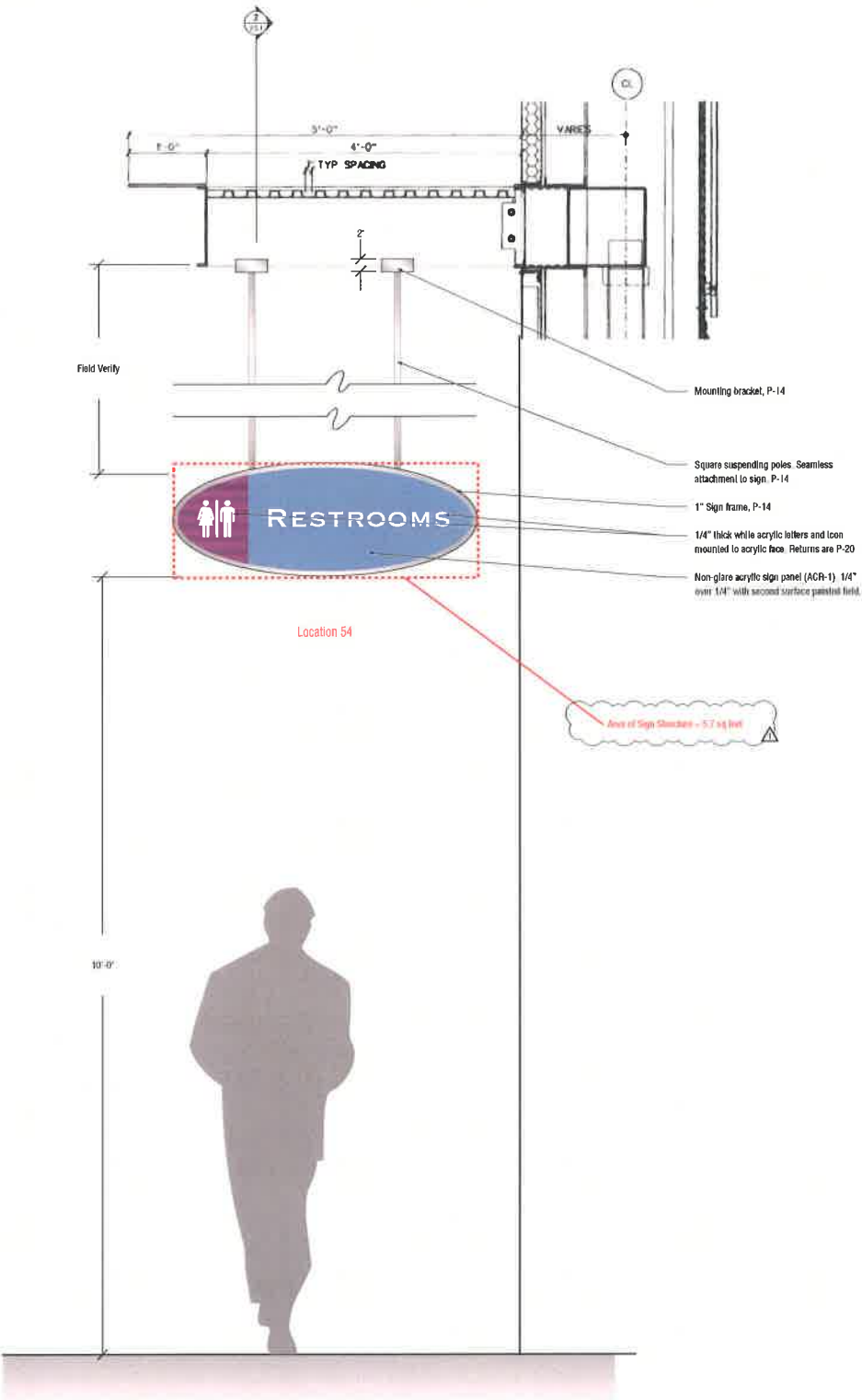
ORIGINAL ISSUE	22 June, 2006
REVISIONS:	
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**Sign Type 2.5b -
Suspended Public
Info Directional**

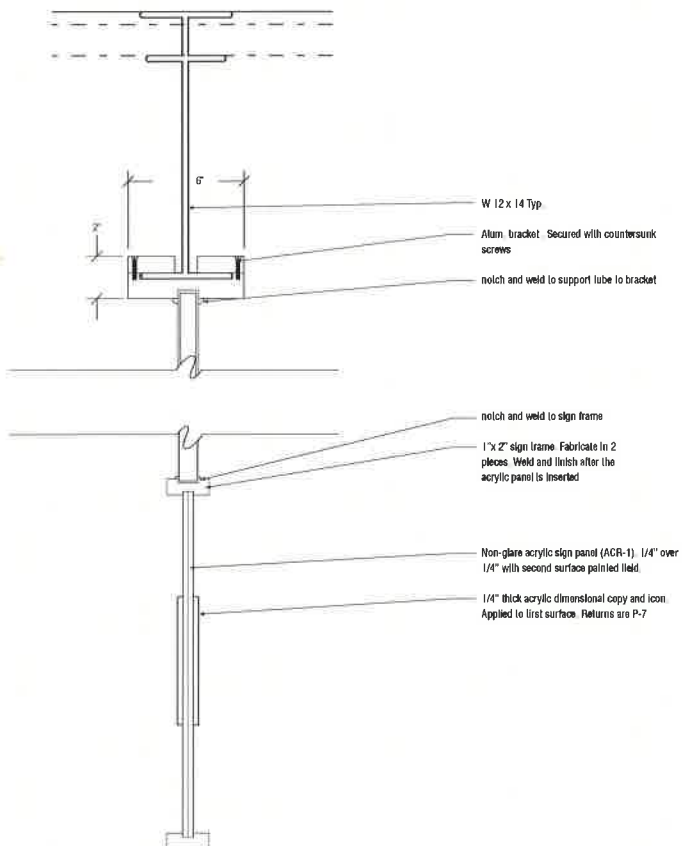
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Sign Type 2.5e -
Suspended Public
Info Directional



2 Section- Trillite Type E - 5'-0"
SCALE: 1" = 1'-0"



2 Section- Trillite Type E - 5'-0"
SCALE: 1" = 1'-0"